

## 4 MID-RISE DISTRICTS

<b>4.1</b>	<b>MID-RISE 3 (MR3)</b> .....	<b>99</b>	<b>4.4</b>	<b>MID-RISE 6 (MR6)</b> .....	<b>189</b>
	Description	99		Character Description	189
	Intent	100		Intent	190
	Purpose	100		Purpose	190
	Applicability	100		Applicability	190
	Development Review	100		Development Review	190
	Building Types	100		Building Types	190
	Building Components	113		Building Components	207
	Building Design Standards	118		Building Design Standards	212
	Architectural Design Guidelines	119		Architectural Design Guidelines	212
	Use Provisions	121		Use Provisions	214
	Development Standards	125		Development Standards	218
	Parking & Mobility	125		Parking & Mobility	218
	Public Realm	128		Public Realm	221
<b>4.2</b>	<b>MID-RISE 4 (MR4)</b> .....	<b>129</b>			
	Character Description	129			
	Intent	130			
	Purpose	130			
	Applicability	130			
	Development Review	130			
	Building Types	130			
	Building Components	143			
	Building Design Standards	148			
	Architectural Design Guidelines	148			
	Use Provisions	150			
	Development Standards	154			
	Parking & Mobility	154			
	Public Realm	157			
<b>4.3</b>	<b>MID-RISE 5 (MR5)</b> .....	<b>159</b>			
	Description	159			
	Intent	160			
	Purpose	160			
	Applicability	160			
	Development Review	160			
	Building Types	160			
	Building Components	173			
	Building Design Standards	178			
	Architectural Design Guidelines	178			
	Use Provisions	180			
	Development Standards	184			
	Parking & Mobility	184			
	Public Realm	187			



### 4.1 MID-RISE 3 (MR3)

#### 1. Description

The Mid-Rise 3 district is characterized by a variety of moderate floor plate buildings up to three (3) stories in height. Buildings are set close to the sidewalk to create a defined street wall that supports pedestrian activity and a sense of place. The district is primarily commercial, with ground floor uses that typically address the needs of residents and employees in the immediate neighborhood.



## 4. MID-RISE DISTRICTS

### Mid-Rise 3 (MR3)

#### 2. Intent

- a. To implement the Neighborhood Mixed Use context from the Future Land Context Map of SomerVision.
- b. To create, maintain, and enhance areas appropriate for smaller scale, multi-use and mixed-use buildings and neighborhood serving uses.

#### 3. Purpose

- a. To permit the development of multi-unit and mixed-use buildings that do not exceed three (3) stories in height.
- b. To provide quality commercial spaces and permit small-scale, neighborhood serving commercial uses.
- c. To provide upper story residential unit types, sizes, bedroom counts, and affordability for smaller households.

#### 4. Applicability

- a. The section is applicable to all real property within the Mid-Rise 3 district as shown on the maps of the Official Zoning Atlas of the City of Somerville.

#### 5. Development Review

- a. All development, excluding normal maintenance, requires the submittal of a development review application to the Building Official and the issuance of a Certificate of Zoning Compliance prior to the issuance of a Building Permit or Certificate of Occupancy.
- b. Proposed development may or may not necessitate the need for Site Plan Approval, a Special Permit, or a Variance based on the nature of the proposal. In such cases, additional development review is required in accordance with Article 15: Administration.
  - i. The Planning Board is the decision making authority for all development that requires Site Plan Approval or a Special Permit.
  - ii. The Zoning Board of Appeals is the Review Board for all Variances.
- c. Upon verification that no additional development review is necessary or completion of the required development review, a Zoning Compliance Certificate shall be issued by the Building Official to certify compliance with the provisions and procedures of this Ordinance.

#### 6. Building Types

- a. One (1) principal building type may be built on each lot.
- b. The following building types are permitted by Site Plan Approval in the Mid-Rise 3 district:
  - i. Apartment Building
  - ii. General Building
  - iii. Commercial Building
- c. Apartment Buildings are prohibited on any lot fronting a pedestrian street.
- d. Accessory structures are regulated according to Article 10: Development Standards of this Ordinance.

**7. Apartment Building**

A small to moderate floorplate, multi-story building type limited to residential uses on all stories.

The following images are examples of the apartment building type and are intended only for illustrative purposes.

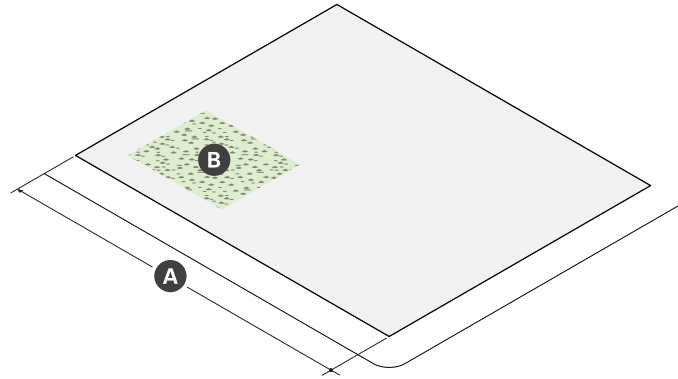


# 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

## 7. Apartment Building (continued)

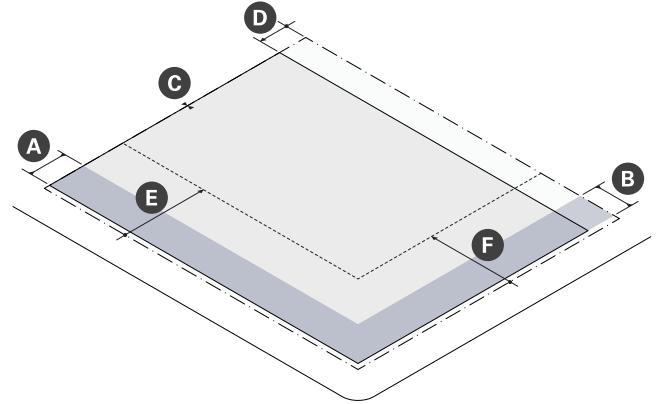
a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	90%
<b>C</b> Green Score	--
Minimum	0.25
Ideal	0.30

b. Building Placement



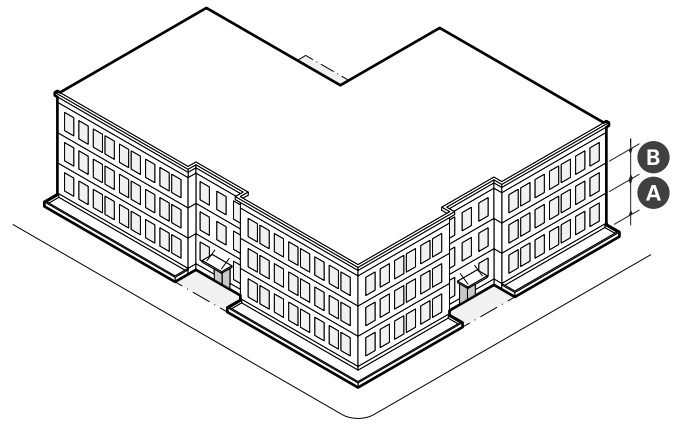
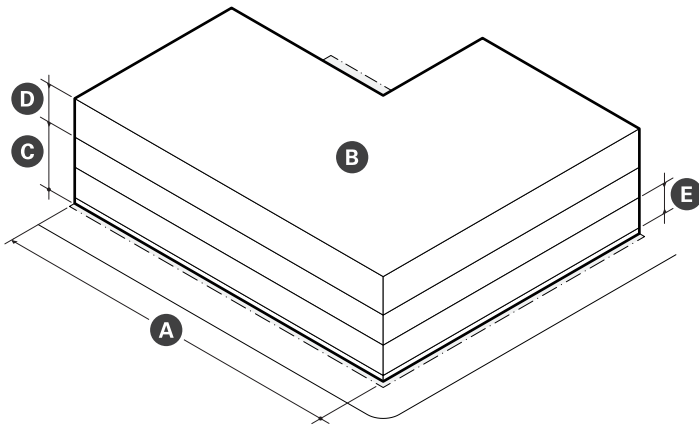
Building Setbacks	
<b>A</b> Primary Front Setback (min/max)	2 ft 12 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft 12 ft
<b>C</b> Side Setback (min)	0 ft
Side Setback Abutting NR or LHD (min)	5 ft
<b>D</b> Rear Setback (min)	--
Alley	0 ft
No Alley	10 ft
No Alley & Abutting NR or LHD	15 ft

Parking Setbacks	
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft

**7. Apartment Building (continued)**

c. Massina & Height

d. Uses & Features



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	15,000 sf
<b>C</b> Building Height, Stories (min)	2 stories
<b>D</b> Building Height, Stories (max)	3 stories
<b>E</b> Story Height (min)	10 ft
Ground Story Elevation (min)	2 ft
Building Height, Feet (max)	40 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min/max)	20% 50%
<b>B</b> Upper Story Fenestration (min/max)	20% 50%
Blank Wall (max)	20 ft

Use & Occupancy	
<b>Gross Floor Area per DU</b>	--
Lot Area < 5,000 sf	1,500
Lot Area >= 5,000 sf	1,125
Sustainable Building	850
100% Affordable Housing	850
Outdoor Amenity Space (min)	1/DU

## 4. MID-RISE DISTRICTS

### Mid-Rise 3 (MR3)

- e. Housing
  - i. An apartment building with six (6) or more dwelling units, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.
- f. Design Guidelines
  - i. Ground story dwelling units should be elevated above the grade of any adjacent sidewalk so that the window sills of dwelling unit are at or above the eye-level of passing pedestrians. This elevation change maintains privacy for occupants while also encouraging open blinds or curtains to allow natural daylight into the unit.
  - ii. Fenestration patterns and window configurations that break the direct line of sight between neighboring properties should be utilized to every extent possible. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
  - iii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.



**8. General Building**

A small to moderate floor plate, multi-story building type with ground floor commercial uses and no limitations or restrictions on upper stories for permitted uses. The upper stories of a general building are typically residential, but a large variety exists. As the number of stories increases, it becomes more likely for the upper stories of a general building to host commercial uses as well as residential.

The following images are examples of the general building type and are intended only for illustrative purposes.

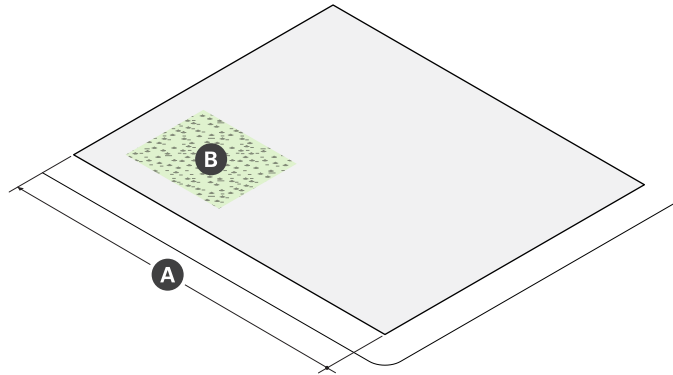


# 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

## 8. General Building (continued)

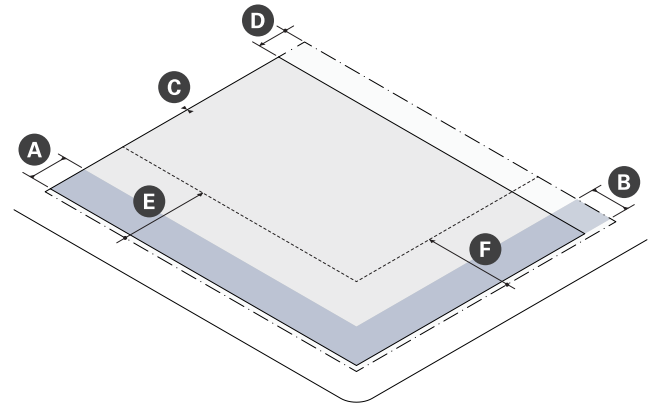
a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	90%
<b>C</b> Green Score	--
Minimum	0.25
Ideal	0.30

b. Building Placement

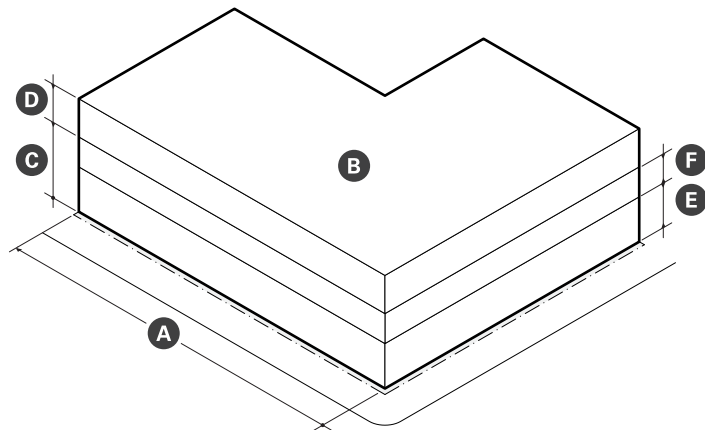


Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	12 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	12 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

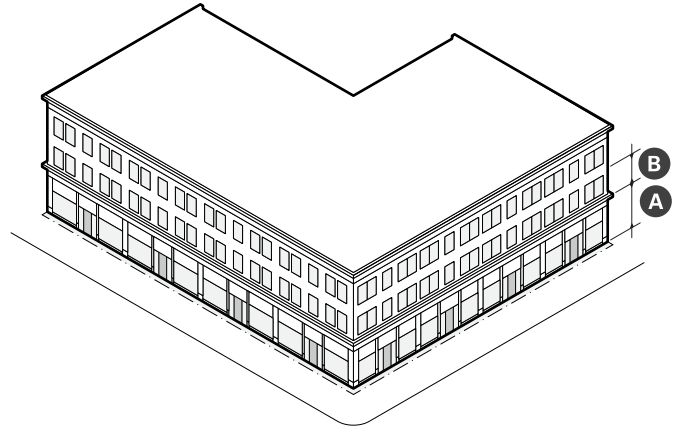
Parking Setbacks	
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft

## 8. General Building (continued)

c. Massing & Height



d. Uses & Features



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out, Front Street (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	15,000 sf
<b>C</b> Building Height, Stories (min)	2 stories
<b>D</b> Building Height, Stories (max)	3 stories
<b>E</b> Ground Story Height (min)	14 ft
<b>F</b> Upper Story Height (min)	10 ft
Building Height, Feet (max)	45 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min)	70%
<b>B</b> Upper Story Fenestration (min/max)	20% 50%
Blank Wall (max)	20 ft

Use & Occupancy	
Ground Story Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft
<b>Gross Floor Area per DU</b>	--
Lot Area < 5,000 sf	1,500
Lot Area >= 5,000 sf	1,125
Sustainable Building	850
100% Affordable Housing	850
Outdoor Amenity Space (min)	1/DU

## 4. MID-RISE DISTRICTS

### Mid-Rise 3 (MR3)

- e. Housing
  - i. A general building with six (6) or more dwelling units, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.
- f. Design Guidelines
  - i. Fenestration patterns and window configurations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
  - ii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.

## 9. Commercial Building

A small to moderate floor plate, multi-story building type limited to commercial uses on all stories.

The following images are examples of the commercial building type and are intended only for illustrative purposes.



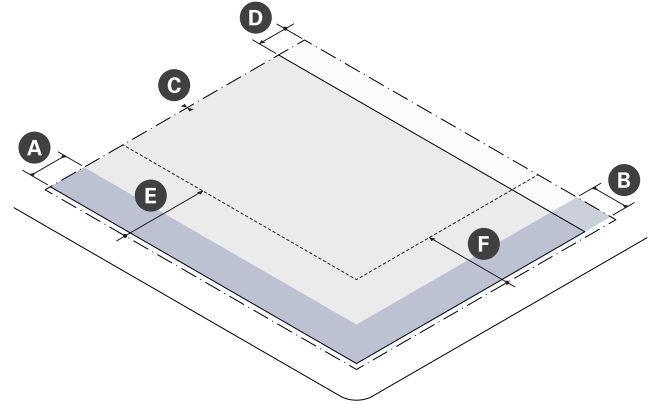
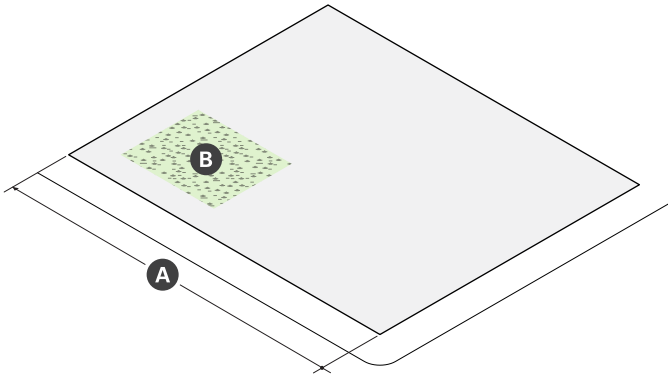
# 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

## 9. Commercial Building (continued)

a. Lot Standards

b. Building Placement



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
Lot Coverage (max)	90%
<b>C</b> Green Score	--
Minimum	0.25
Ideal	0.30

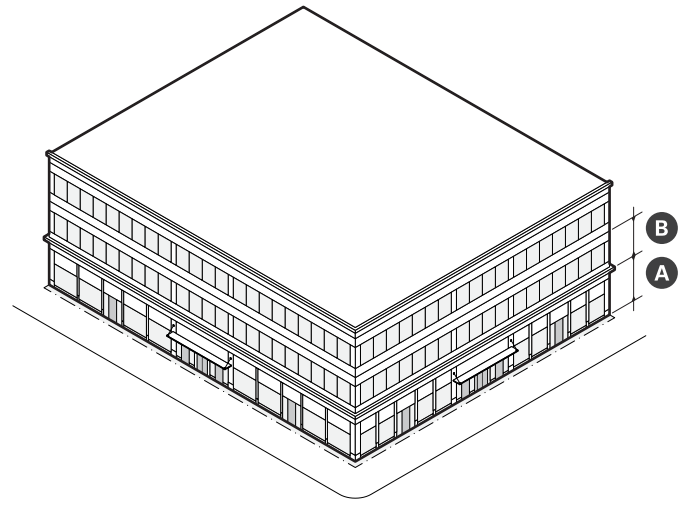
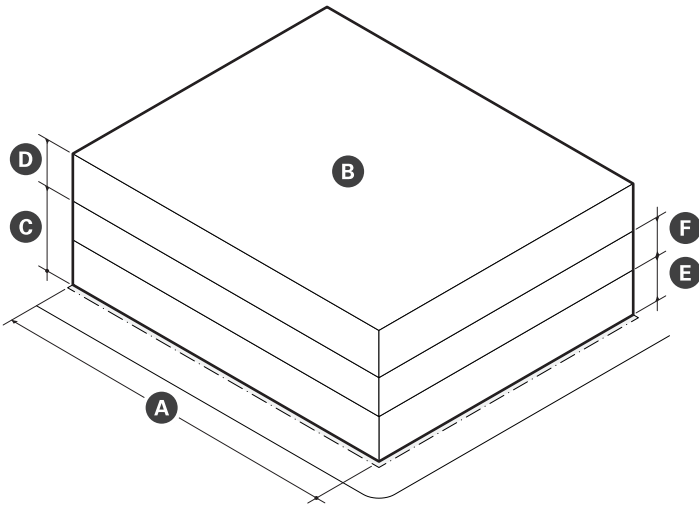
Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	12 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	12 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

Parking Setbacks	
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft

**9. Commercial Building (continued)**

c. Massing & Height

d. Uses & Features



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out, Front Street (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	15,000 sf
<b>C</b> Building Height, Stories (min)	2 stories
<b>D</b> Building Height, Stories (max)	3 stories
<b>E</b> Ground Story Height (min)	14 ft
<b>F</b> Upper Story Height (min)	10 ft
Building Height, Feet (max)	50 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min)	70%
<b>B</b> Upper Story Fenestration (min/max)	20% 70%
Blank Wall (max)	20 ft

Use & Occupancy	
Ground Story Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft

## 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

e. Reserved



**10. Building Components**

- a. Building components are accessory elements attached to the main mass of a principal building.
- b. Building components are permitted as specified on Table 4.1 (a).
  - i. At least one (1) storefront is required for each ground floor commercial space.
- c. Building components not expressly authorized are prohibited.
- d. Unless otherwise specified, building components may attach to other building components to create assemblies of components.

**TABLE 4.1 (a) Permitted Building Components**

	Apartment Building	General Building	Commercial Building	Specific Standards
Awning	N	P	P	§4.1.10.e
Entry Canopy	P	P	P	§4.1.10.f
Lobby Entrance	P	P	P	§4.1.10.g
Storefront	N	P	P	§4.1.10.h
Stoop	P	N	N	§4.1.10.i
Bay Window	P	P	P	§4.1.10.j
Balcony	P	P	N	§4.1.10.k
Arcade	N	N	N	§4.1.10.l

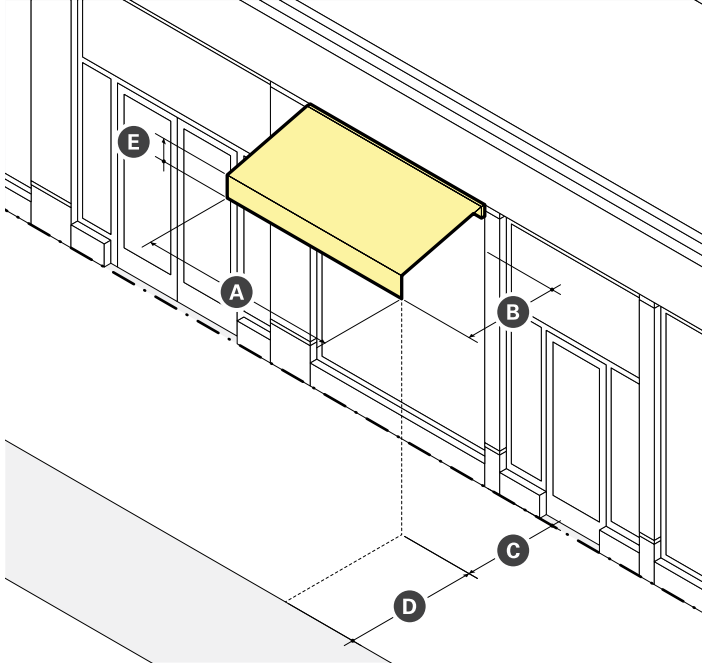
P - Permitted      SP - Special Permit Required      N - Not Permitted

## 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

### E. Awning

- i. An awning is a wall mounted frame covered with fabric or other material that provides shade and weather protection over a storefront or building entrance.

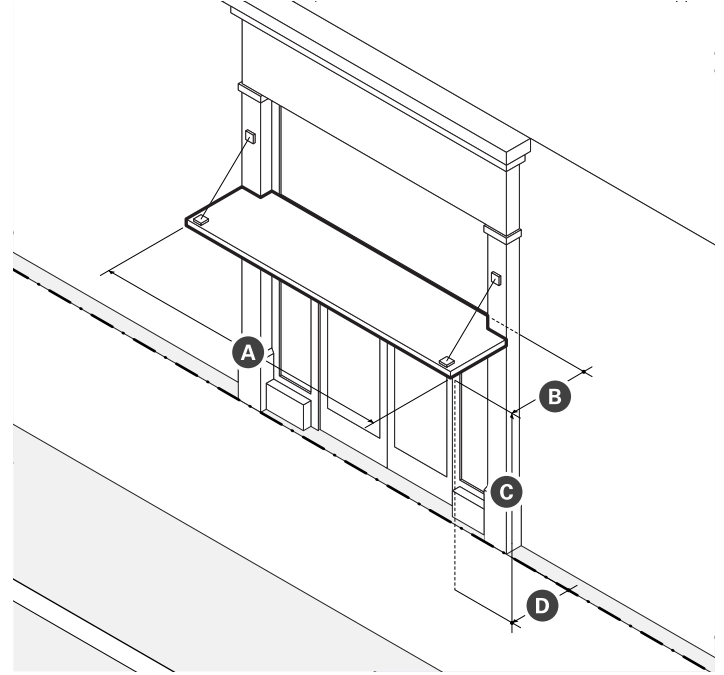


Dimensions	
<b>A</b> Width (min)	See §4.xxx)
<b>B</b> Projection (min)	3 ft
<b>C</b> Clearance (min)	8 ft
Front Setback Encroachment (max)	100%
<b>D</b> Setback from Curb (min)	2 ft
<b>E</b> Valance Height (max)	12 in

- ii. Standards
  - a). Awnings must be securely attached to and supported by the building and must fit the windows or doors the awning is attached to.
  - b). An awning must be made of durable, weather-resistant material that is water repellent.
  - c). Internally illuminated or back-lit awnings are prohibited.
  - d). An awning that projects over the sidewalk of a public thoroughfare requires compliance with all City Ordinances.

### F. Entry Canopy

- i. An entry canopy is a wall-mounted structure that provides shade and weather protection over a storefront or building entrance.

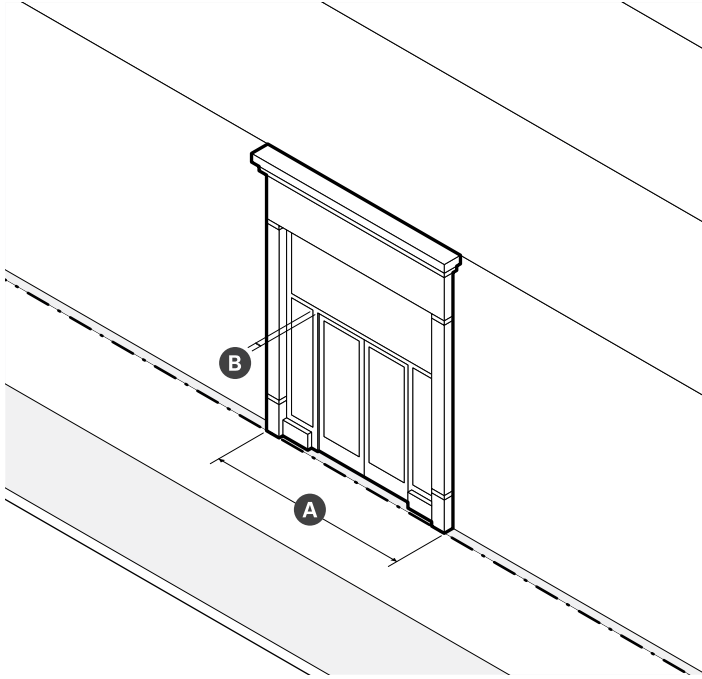


Dimensions	
<b>A</b> Width (min)	See §4.xxx)
<b>B</b> Projection (min)	3 ft
<b>C</b> Clearance (min)	8 ft
<b>D</b> Front Setback Encroachment (max)	100%
Setback from Curb (min)	2 ft

- ii. Standards
  - a). Entry canopies must be visually supported by brackets, cables, or rods.
  - b). The width of an entry canopy must be equal to or greater than the width of the doorway surround or exterior casing it is mounted over.

**G. Lobby Entrance**

- i. A lobby entrance is a non-load bearing assembly of entry doors and windows providing access and light to the lobby of a building.

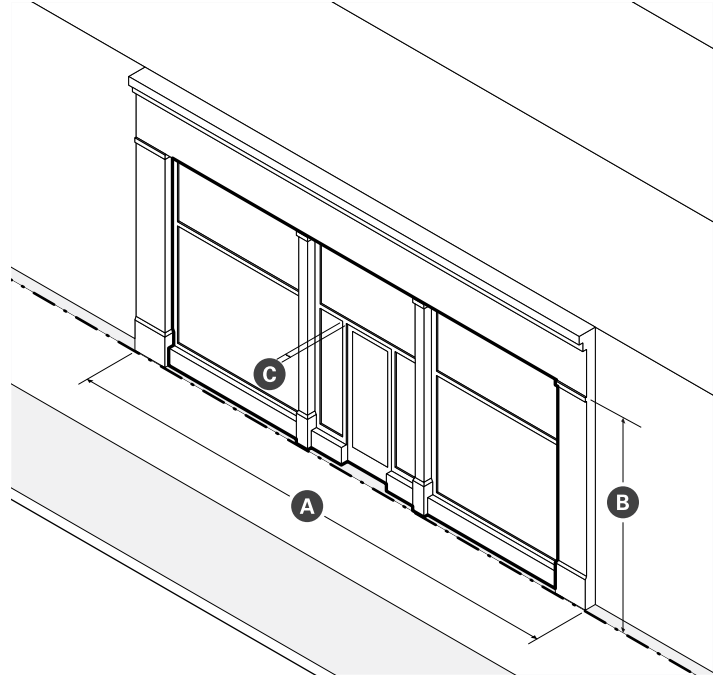


Dimensions	
<b>A</b> Width (max)	30 ft
<b>B</b> Recessed Entrance Width (max)	15 ft
Recessed Entrance Depth (max)	5 ft

- ii. Standards
  - a). When a lobby entrance is setback from the front lot line, the frontage area must be paved.

**H. Storefront**

- i. A storefront is a non-load bearing assembly of commercial entry doors and substantial windows for the display of goods, services, and signs.



Dimensions	
<b>A</b> Width (max)	30 ft
<b>B</b> Display Window Height (min)	8 ft
<b>C</b> Recessed Entrance Width (max)	15 ft
Recessed Entrance Depth (max)	5 ft

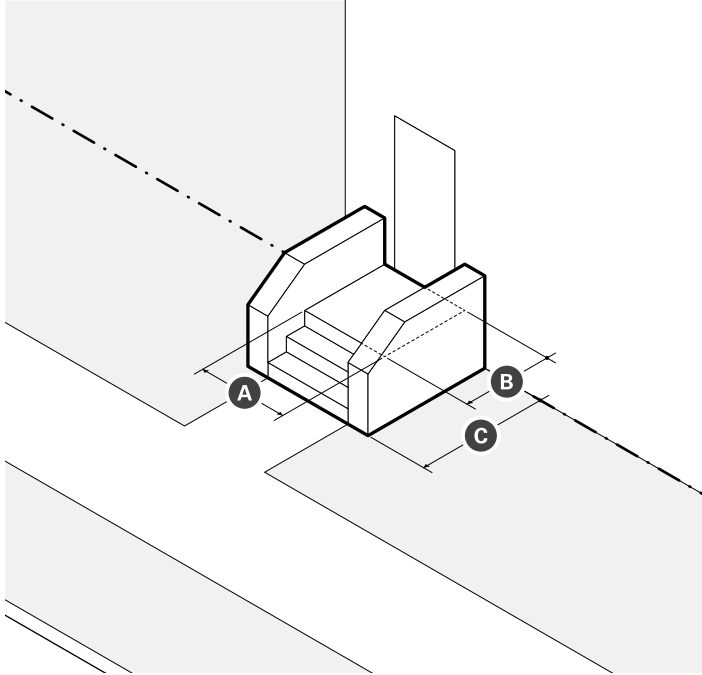
- ii. Standards
  - a). An unobstructed view of the interior space or a lighted and maintained merchandise display(s) must be provided for a depth of at least four (4) feet behind storefront display windows.
  - b). When storefronts are setback from the front lot line, the frontage area must be paved to match the abutting sidewalk.
  - c). When present, awnings and canopies must be mounted between columns, pilasters, or piers; above doorways and display windows; and below the sign band.
  - d). Exterior security grills, gates, and roll-down security doors and windows are prohibited.

# 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

## I. Stoop

- i. A stoop is a set of stairs with a landing leading to the entrance of a building.

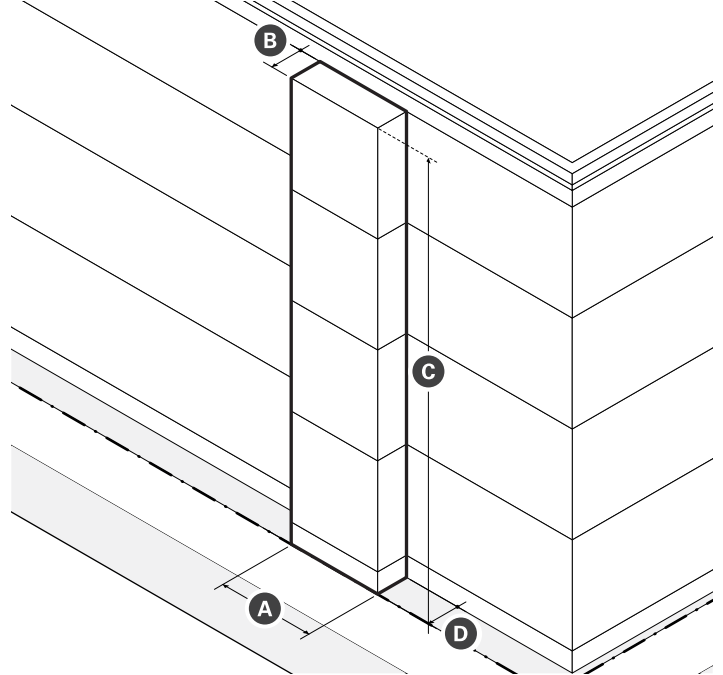


Dimensions	
<b>A</b> Landing Width (min)	4 ft
<b>B</b> Landing Depth (min)	4 ft
<b>C</b> Front Setback Encroachment (max)	100%

- ii. Standards
  - a). Paving, excluding driveways, must match the abutting sidewalk unless paved with pervious, porous, or permeable materials.
  - b). Stairs may be recessed into the building facade when the building is setback four (4) feet or less.
  - c). Stairs are not permitted to encroach onto any abutting sidewalk.
  - d). Stairs may be built perpendicular or parallel to the building facade, but must lead directly to ground level or an abutting sidewalk.

## J. Bay Window

- i. A bay window is an assembly of multiple windows that projects from a building to provide additional habitable space, increased light, multi-directional views, and articulation to an exterior wall.

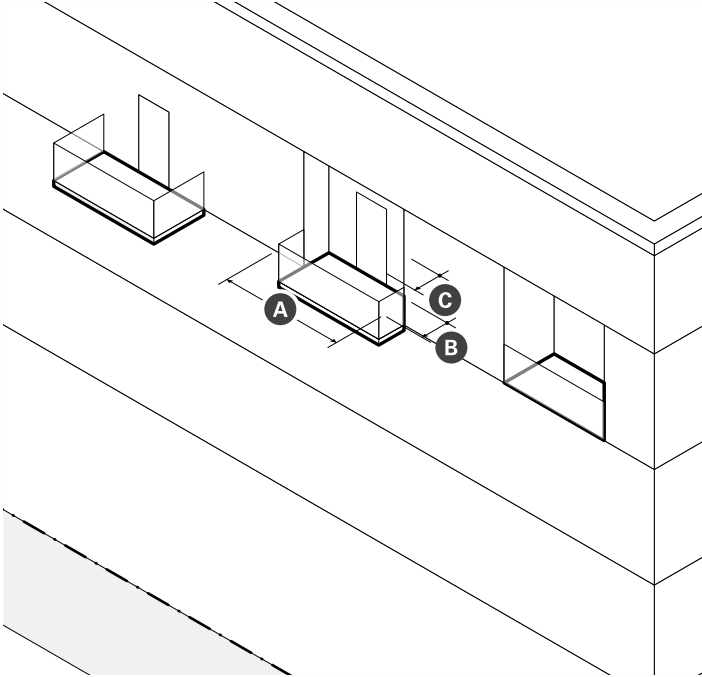


Dimensions	
<b>A</b> Width (max)	16 ft
<b>B</b> Projection (max)	3 ft
<b>C</b> Height (max)	Height of Building in Stories
<b>D</b> Front Setback Encroachment (max)	3 ft
Fenestration (min)	60%

- ii. Standards
  - a). The cumulative width of multiple bays may equal up to fifty percent (50%) of the exterior wall from which the bays project.
  - b). Bays must have a foundation extending all the way to ground level or be visually supported by brackets or other architectural supports.
  - c). Bays projecting over the sidewalk of a public thoroughfare must have at least two (2) stories of clearance and be compliant with all City Ordinances.

**K. Balcony**

- i. A balcony is a platform with a railing that provides outdoor amenity space.

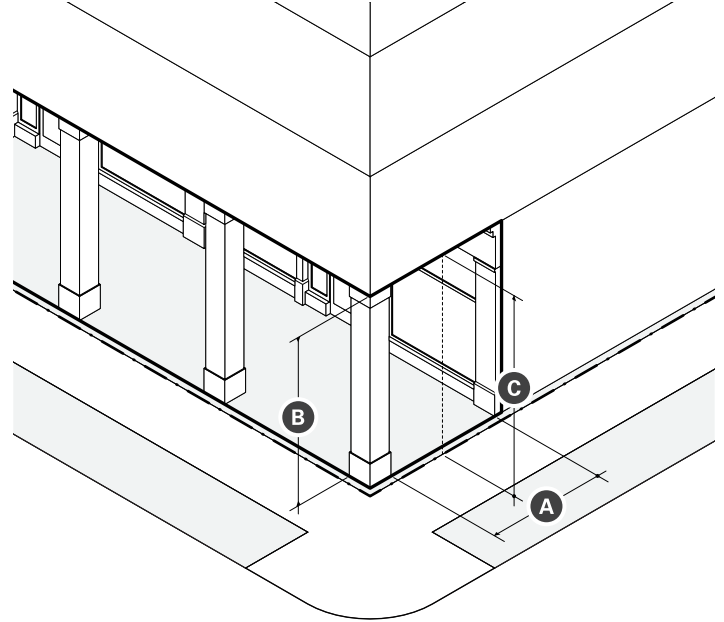


Dimensions	
<b>A</b> Width (min)	5 ft
<b>B</b> Depth (max)	5 ft
<b>D</b> Area (min)	50 ft
Clearance (min)	10 ft
Permitted Front Setback Encroachment (max)	6 ft

- ii. Standards
  - a). Balconies may be recessed, projecting, a combination of the two, or terraced as part of the roof of a portico, porch, or bay.
  - b). A balcony that projects over the sidewalk of a public thoroughfare requires compliance with all City Ordinances.
  - c). The guard rail of any balcony oriented toward a front lot line must permit visual supervision of the public realm through the posts and rails.
  - d). The guard rail of any balcony oriented toward a side or rear lot line abutting the NR district must include sight obscuring visual screening so that it is at least fifty percent (50%) opaque.

**L. Arcade**

- i. An arcade is a pedestrian walkway covered by the upper floors of a building. The ground story facade is setback and upper floors are supported by a colonnade or supports.



Dimensions		
<b>A</b> Depth (min/max)	10 ft	15 ft
<b>B</b> Height (max)	1 story	
<b>C</b> Clearance (min/max)	14 ft	24 ft

- ii. Standards
  - a). Arcades must extend the entire width of a building and must have a consistent depth.
  - b). Support columns or piers may be spaced no farther apart than they are tall.
  - c). Arcades are considered part of the building for the purpose of measuring facade build out.
  - d). Arcades may be combined only with storefront and lobby entrance frontages.
  - e). The finished ceiling of an arcade interior may be arched or flat, but must have a greater clearance than the openings between columns or piers.

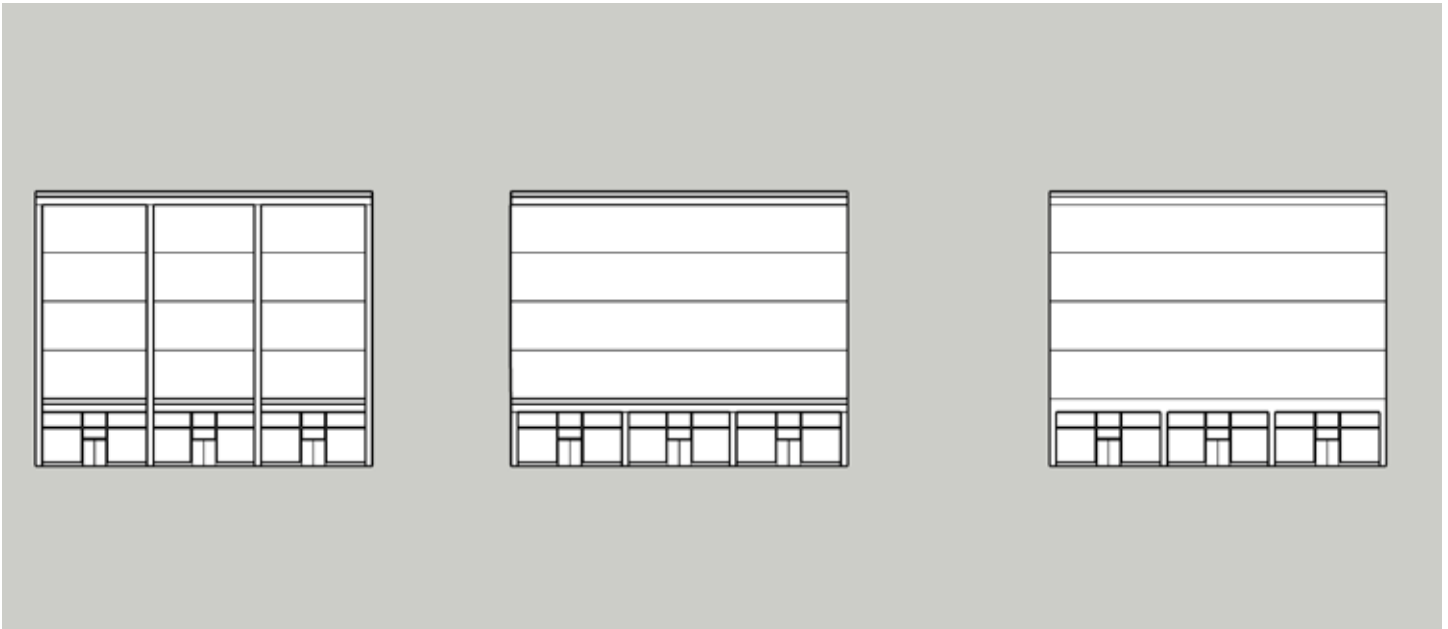
## 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

### 11. Building Design Standards

- a. Pedestrian Circulation
  - i. When development occurs on any lot abutting a sidewalk that is less than twelve (12) feet in total width, the building must be setback an additional distance to accommodate expansion of the abutting sidewalk to a width of at least twelve (12) feet. The minimum and maximum front setbacks for each building type are increased accordingly.
- b. Facade Design
  - i. Building facades must provide a frame for each storefront and lobby entrance of solid wall material designed as one (1) of the following:
    - a). flat wall above and to either side of a punched opening;
    - b). pilasters or columns supporting a continuous horizontal lintel (sign band) and cornice extending across the full width of the building;
    - c). a spandrel (sign band) positioned between pilasters or columns that extend from upper stories of the building to the ground.
  - ii. The required frame may be subsumed and customized into the design for individual storefronts and lobby entrances.
  - iii. Facades must be articulated to create surface relief and shadow lines that add depth to the facade through the use of architectural elements such as balconies, Bays, cladding, columns, corner boards, cornices, door surrounds, moldings, piers, pilasters, seat walls, sills, wall depth, and windows that either recess or project from the average plane of the facade by at least four (4) inches.

**FIGURE 4.1 (c) Storefront Frames**



## 12. Architectural Design Guidelines

- a. Review Process
  - i. In addition to any official design guidelines adopted by the Review Boards, the Urban Design Commission shall determine if the guidelines of this Section are achieved by the proposed design of a building and provide recommendations to further improve the proposed design, as necessary.
- b. Purpose
  - i. To visually break down and minimize a building's apparent height and shorten the perceived length of a building.
  - ii. To provide structure to the composition and disposition of fenestration, enhance pedestrian orientation, and add visual interest to the public realm.
  - iii. To ensure building facades are multi-layered and contribute to a visually-rich pedestrian experience, encourage active public life on abutting sidewalks, and help to protect pedestrians from wind, sun, rain, sleet and snow with awnings or overhangs.
  - iv. To create memorable views that add to the character and enhance the aesthetics of the public realm.
- c. Facade Design
  - i. Facades should be vertically articulated into a series of Architectural Bays no wider than thirty (30) feet.
  - ii. Architectural bays should be derived, in general, from the building's structural bay spacing.
  - iii. Architectural bays should have piers (flat wall), pilasters, or columns that extend either all the way to the ground or to the cornice and sign band of ground level storefronts frames.
  - iv. Architectural bays should align, in general, with individual or groups of storefronts and lobby entrances.
  - v. Facades should be horizontally articulated into a contemporary tripartite division (base, middle, and top). Exterior finish materials, changes in fenestration patterns, and architectural elements such as moldings, cornices, balconies, bay windows, porches, and canopies should be used to differentiate the base, middle, and top.
  - vi. In most circumstances, the vertical piers (flat wall), pilasters, and columns that define Architectural Bays should always project forward and be uninterrupted by any horizontal elements of a facade, excluding any horizontal molding, cornice, or other architectural elements(s) used to differentiate the tripartite division of the façade.
  - vii. Within the divisions of a facade, fenestration should align vertically within each Architectural Bay and horizontally across each story of a building.
- viii. Upper stories should have a window to wall area proportion that is lower than that of the ground floor.
- ix. Windows should be punched into walls with glass inset from exterior wall surfaces.
- x. The variety of window and door sizes and proportions should be limited.
- xi. Series of windows set side by side to form a continuous horizontal band across a facade (aka 'ribbon windows') should be avoided.
- xii. Vents, exhausts, and other utility features on building facades should be architecturally integrated into the design of the building. Ventilation intakes/exhausts should be located to minimize adverse effects on pedestrian comfort along sidewalks and within outdoor spaces.
- xiii. Buildings at Terminated Vistas should be articulated with design features that function as focal points.
- d. Facade Bases
  - i. The base of a facade should have projecting piers, pilasters, or columns; slightly recessed storefronts; ledges, or other architectural elements(s) that provide opportunities for pedestrian-oriented activities such as vending, resting, sitting, dining, or visiting along the ground floor.
  - ii. Monotonous and repetitive storefront or lobby systems, sign types, sign designs, and sign lighting should be avoided.
  - iii. Storefront doors should not obstruct pedestrians walking past or alongside a building.
  - iv. Storefronts and lobby entrances should include awnings and canopies to provide weather protection for pedestrians and reduce glare for storefront display areas. Awnings should be open-ended and operable.
  - v. Façade lighting should encourage pedestrian activity at night through layers of light that contribute to the nighttime experience.
  - vi. Lobby entrances for upper story uses should be optimally located, well defined, clearly visible, and separate from the entrance for any other ground floor uses.
  - vii. Ground floor lobby spaces should be limited in total area and width to preserve floor space and frontage for other ground floor uses. Buildings should use façade articulation, a double-height ceiling, distinctive doorway, change in wall material, change in paving material within the setback area, or some other architectural element(s) to make lobbies distinctive.
- e. Roofs
  - i. Mechanical and utility equipment should be integrated into the architectural design of the building or screened from public view. Penthouses

## 4. MID-RISE DISTRICTS

### Mid-Rise 3 (MR3)

should be integrated with the buildings architectural design and not appear as foreign structures unrelated to the rest of the building.

- f. Materials
  - i. The selection of materials, fenestration, and ornamentation should result in a consistent and harmonious composition that appears as a unified whole rather than a collection of unrelated parts, whatever the style.
  - ii. The type and color of materials used for a building should be kept to a minimum, preferably three (3) or less.
  - iii. Two (2) or more wall materials should be combined only one above the other.
  - iv. Wall materials appearing heavier in weight should be used below wall materials appearing lighter in weight (wood and metal above brick, and both above stone)
  - v. Horizontal or vertical board siding and shingles, whether wood, metal, plastic (vinyl), masonry, or composite materials, should be used only for smaller scale apartment buildings.
  - vi. Architectural details and finish materials for the base of a building should be constructed of architectural concrete or pre-cast cementitious panels, natural or cast stone, heavy gage metal panel, glazed or unglazed architectural terracotta, and brick.
  - vii. Exterior Insulation and Finish Systems (EIFS) should never be used for the base of a building.



**13. Use Provisions**

- a. General
  - i. The use of real property is subject to the provisions of Article 9: Use Provisions of this Ordinance. Where the provisions of this section conflict with those of Article 9, the provisions of Article 9 apply.
  - ii. Uses are permitted as specified on Table 4.1 (c). Use categories not expressly authorized are prohibited.
  - iii. All uses must comply with any use-specific standards applicable for each use in §9.2 Use Definitions & Limitations.
  - iv. Uses permitted by Special Permit require additional development review in accordance with §15.2.1 Special Permits.
- b. Use Limitations
  - i. The use of any ground story commercial space fronting a pedestrian street, excluding lobbies for upper story uses, is limited to the following principal use categories:
    - a). Arts & Creative Enterprise
    - b). Eating & Drinking Establishment
    - c). Retail
    - d). Civic & Institutional
- c. Increases in Density
  - i. Existing structures may not be altered to conflict with number of dwelling units permitted for each building type.

## 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

**TABLE 4.1 (c) MR3 Permitted Uses**

Use Category Specific Use	MR3	Use Specific Standards
<b>Arts &amp; Creative Enterprise</b>		
Artisan Production	P	§9.2.2.a
Arts Exhibition	P	§9.2.2.b
Arts Sales & Services	P	§9.2.2.c
Co-working	P	§9.2.2.d
Design Services	P	§9.2.2.e
Shared Workspaces & Arts Education	P	§9.2.2.f
<b>Civic &amp; Institutional</b>		
Community Center	P	§9.2.4.a
Hospital	SP	§9.2.4.b
Library	P	§9.2.4.c
Minor Utility Facility	SP	§9.2.4.d
Museum	P	§9.2.4.f
Private Non-Profit Club or Lodge	SP	§9.2.4.g
Public Service	P	§9.2.4.h
Religious & Educational Uses Protected by M.G.L 40A. Sec 3	P	§9.2.4.i
<b>Commercial Services</b>		
Animal Services (as noted below)	--	§9.2.5.a
Pet Grooming	P	§9.2.5.a.ii
Veterinarian	SP	§9.2.5.a.iv
Assembly & Entertainment	SP	§9.2.5.b
Banking & Financial Services (except as follows)	P	§9.2.5.c
Personal Credit	SP	§9.2.5.c.i
Broadcast and/or Recording Studio	P	§9.2.5.d
Building & Home Repair Services	SP	§9.2.5.e
Business Support Services	P	§9.2.5.f
Caterer/Wholesale Food Production	SP	§9.2.5.g
Day Care Service (as noted below)	--	§9.2.5.h
Adult Day Care Center	P	§9.2.5.h.i
Child Day Care Center	P	§9.2.5.h.ii
Educational Institution	P	§9.2.5.i
Maintenance & Repair of Consumer Goods	P	§9.2.5.j
Personal Services (except as follows)	P	§9.2.5.k
Body-Art Establishment	SP	§9.2.5.k.i

P - Permitted      SP - Special Permit Required      N - Not Permitted

**TABLE 4.1 (c) MR3 Permitted Uses (continued)**

Use Category Specific Use	MR3	Use Specific Standards
Gym or Health Club	P	§9.2.5.k.ii
Funeral Home	SP	§9.2.5.k.iii
Health Care Provider	SP	§9.2.5.k.iv
<b>Recreation Facility</b>	SP	§9.2.5.l
<b>Vehicle Parking, Commercial (except as follows)</b>	--	§9.2.5.m
Bike Share Parking	P	§9.2.5.m.i
Car Share Parking (3 or less spaces)	P	§9.2.5.m.ii
Car Share Parking (4 or more spaces)	P	§9.2.5.m.ii
Commercial Parking	P	§9.2.5.m.iii
<b>Eating and Drinking</b>		
Bar/Restaurant/Tavern	P	§9.2.6.a
Bakery/Café/Coffee Shop	P	§9.2.6.b
Formula Eating & Drinking Establishment	SP	§9.2.6.c
<b>Lodging</b>		
Bed & Breakfast	SP	§9.2.8.a
Hotel or Hostel	SP	§9.2.8.b
<b>Office</b>		
General Office	P	§9.2.9.a
Research and Development and/or Laboratory	P	§9.2.9.b
<b>Residential</b>		
Household Living	SP	§9.2.10.a
Group Living (except as follows)	SP	§9.2.10.b
Community or Group Residence	P	§9.2.10.b.i
Dormitory, Fraternity or Sorority	SP	§9.2.10.b.ii
Homeless Shelter	SP	§9.2.10.b.iii
Nursing Home/Assisted Living Facility	SP	§9.2.10.b.iv

P - Permitted      SP - Special Permit Required      N - Not Permitted

## 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

**TABLE 4.1 (c) MR3 Permitted Uses (continued)**

Use Category Specific Use	MR3	Use Specific Standards
Rooming House	SP	§9.2.10.b.v
<b>Retail Sales</b>		
Building/Home Supplies & Equipment	SP	§9.2.11.a
Consumer Goods (except as follows)	P	§9.2.11.b
Alcohol Sales	SP	§9.2.11.b.i
Drug Paraphernalia Store	N	§9.2.11.b.ii
Firearms Sales	N	§9.2.11.b.iii
Medical Marijuana	N	§9.2.11.b.iv
Pet Store	SP	§9.2.11.b.v
Formula Retail	SP	§9.2.11.c
Fresh Food Market or Grocery Store	P	§9.2.11.d
Farm/Vendor Market	P	§9.2.11.e
<b>Urban Agriculture</b>		
Farming (as noted below)	--	§9.2.12.a
Commercial Farm	P	§9.2.12.a.i
Community Farm	P	§9.2.12.a.ii
Community Gardening	P	§9.2.12.b
<b>Accessory Uses</b>		
Home Occupations (as noted below)	--	§9.2.13.c
Creative Studio	N	§9.2.13.c.ii
Hobby Kennel	N	§9.2.13.c.iii
Home-Based Business	N	§9.2.13.c.iv
Home Day Care	N	§9.2.13.c.v
Home Office	P	§9.2.13.c.vi
Urban Agriculture (as noted below)	--	§9.2.13.d
Apiculture	P	§9.2.13.d.i
Aviculture	P	§9.2.13.d.ii
Commercial Farming	P	§9.2.13.d.iii
Residential Gardening	P	§9.2.13.d.iv
Vehicle Parking, Accessory (except as follows)	P	§9.2.13.e
Home Business Vehicle Parking	N	§9.2.13.e.i

P - Permitted      SP - Special Permit Required      N - Not Permitted

**14. Development Standards**

- a. General
  - i. Development is subject the provisions of Article 10 Site Development of this Ordinance. Where the provisions of this section conflict with those of Article 10, the provisions of Article 10 apply.
- b. Signs
  - i. A sign, individual numerals or letters, or a nonelectrical nameplate identifying the property address is required for all real property as follows:
    - a). Each ground story non-residential use must identify the street address either on the principal entrance door or above or beside the principal entrance of the use.
    - b). All residential building types must identify the street address either on the principal entrance door, above or beside the principal entrance, or on a mailbox.
  - ii. Address signs must be made easily visible through the use of colors or materials that contrast with the background material they are attached to and must be conspicuously located to provide visibility from the thoroughfare that the building faces.
  - iii. Address signs must be twelve (12) inches in height or less and may include the name of the occupant.

**15. Parking & Mobility**

- a. General
  - i. Development is subject the provisions of Article 11 Parking & Mobility of this Ordinance. Where the provisions of this section conflict with those of Article 11, the provisions of Article 11 apply.
  - ii. Vehicular parking must be provided as specified on Table 4.1 (d), except as follows:
    - a). Non-residential uses with five thousand (5,000) square feet or less of gross leasable floor area are exempt from any minimum requirements of Table 4.1. (d).
    - b). Any change in use within a non-residential structure constructed before the effective date of this Ordinance, provided that the change is to a permitted use, is exempt from any minimum requirements of Table 4.1 (d).
  - iii. There are no parking requirements for accessory uses.
  - iv. Motor vehicle parking spaces may be shared between uses on the same lot and buildings on the same block in accordance with §11.3 Shared Parking.
- b. Type
  - i. Motor vehicle parking may be provided as surface parking, above ground structured parking, and underground structured parking.
- c. Driveways

- i. New driveways require a permit from the City Engineer.
- ii. Driveways must be compliant with all City Ordinances and constructed in accordance with all standards established by relevant City departments.
- iii. Driveways are not permitted in the frontage area between a building and the front lot line.
- iv. Driveways may be no wider than twelve (12) feet in the frontage area of a lot.
- v. Driveways may provide access in whole or in part on or across an abutting lot(s), provided that an access easement exists between all property owners.
- d. Parking Design
  - i. The design of all parking is subject to §11.1 Bicycle Parking and §11.2 Motor Vehicle Parking of this Ordinance.
- e. Parking Location
  - i. Required vehicular parking, excluding any required handicapped parking, may be provided on a contiguous lot under the same ownership as the lot that the parking will serve as follows:
    - a). Pedestrian access to off-site vehicular parking must be via a paved sidewalk or walkway.
    - b). A lease, recorded covenant, or other comparable legal instrument guaranteeing long term use of the site must be provided to the review board or building official and executed and filed with the Registry of Deeds.
  - ii. For real property located in more than one municipality, motor vehicle parking need not be located within the City of Somerville.
- f. Unbundled Parking
  - i. Motor vehicle parking spaces must be rented or leased as an option rather than a requirement of the rental, lease, or purchase of a dwelling unit or non-residential floor space.
  - ii. Bicycle parking must be provided at no cost or fee to customers, visitors, employees, tenants, and residents.
- g. Parking Relief
  - i. Relief from the parking standards of Table 4.1 (d) requires a special permit.
    - a). In its discretion to approve or deny a special permit authorizing relief from the parking standards of Table 4.1 (d), the review board shall consider, at least, the following:
      - i). The supply and demand of on-street parking in the neighborhood, as determined through a parking study.
      - ii). Mobility management programs and services provided by the applicant to reduce the demand for parking.

# 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

**TABLE 4.1 (d) MR3 Vehicular Parking**

\*See Transit Areas Map for lots located in a Transit Area

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area (max)	Outside of a Transit Area (min)
<b>Arts &amp; Creative Enterprise</b>				
All Permitted Uses	1 / 10,000 sf	1 / 3,000 sf	1 / 800 sf	1 / 1,000 sf
<b>Civic &amp; Institutional</b>				
Community Center	1 / 10,000 sf	4 / 10,000 sf	1 / 1,800 sf	1 / 600 sf
Educational Facility	1.0 / classroom	4.0 / classroom	1.5 / classroom	3.0 / classroom
Hospital	10 per entrance	1 / 5,000 sf	1 / 200 sf	1 / 1,000 sf
Library	1 / 3,000 sf	1 / 5,000 sf	1 / 800 sf	1 / 500 sf
Minor Utility Facility	n/a	n/a	n/a	n/a
Museum	1 / 2,000 sf	1 / 10,000 sf	1 / 800 sf	1 / 500 sf
Private Non-Profit Club or Lodge	1 / 2,000 sf	1 / 10,000 sf	1 / 200 sf	1 / 1,000 sf
<b>Commercial Services</b>				
Animal Services (as noted below)	1 / 2,500 sf	1 / 10,000 sf	--	--
Pet Grooming	--	--	1 / 500 sf	1 / 400 sf
Veterinarian	1 / 2,000 sf	1 / 5,000 sf	1 / 500 sf	1 / 500 sf
Assembly & Entertainment	1 / 40 seats	1 / 10,000 sf	1 / 6 seats	1 / 6 seats
Banking & Financial Services (except as noted below)	1 / 2,000 sf	1 / 10,000 sf	1 / 450 sf	1 / 400 sf
Broadcast and/or Recording Studio	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 600 sf
Building & Home Repair Services	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 2,000 sf
Business Support Services	1 / 2,500 sf	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Caterer/Wholesale Food Production	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 1,000 sf
Day Care Service	2	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Maintenance & Repair of Consumer Goods	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Personal Services (except as noted below)	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Gym or Health Club			1 / 200 sf	1 / 500 sf
Funeral Home				
Health Care Provider	1 / 2,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 300 sf
Recreation Facility	1 / 2,500 sf	1 / 10,000 sf		

sf - Gross Leasable Square Footage

DU - Dwelling Unit

RU - Rooming Unit

**TABLE 4.1 (d) MR3 Vehicular Parking (continued)**

\*See Transit Orientation Map for distance to a Transit Station

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area (max)	Outside of a Transit Area (min)
<b>Eating and Drinking</b>				
Bar/Restaurant/Tavern	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
Bakery/Café/Coffee Shop	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
Formula Eating & Drinking Establishment	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
<b>Lodging</b>				
Bed & Breakfast	1 / 20 rooms	1 / 10 rooms	1 / DU + 1 / 4 guest rooms	1 / DU + 1 / 4 guest rooms
Hotel or Hostel	1 / 20 rooms	1 / 10 rooms	1 / 2 guest rooms	1 / 2 guest rooms
Short Term Rental	1 / 20 rooms	1 / 10 rooms	n/a	n/a
<b>Office</b>				
Co-Working	1 / 20,000 sf	1 / 3,000 sf	1 / 1,200 sf	1 / 800 sf
General Office	1 / 20,000 sf	1 / 3,000 sf	1 / 900 sf	1 / 650 sf
Research and Development and/or Laboratory	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
<b>Residential</b>				
Household Living	0.1 / DU	1.0 / DU	1.0 / DU	1.0 / DU
Group Living (except as follows)	0.05 / RU	0.5 / RU	–	–
Community or Group Residence	–	–	–	–
Dormitory, Fraternity or Sorority	0.1 / bed	0.5 / bed	.05 / bed	1.0 / 4 beds
Homeless Shelter	–	–	4.0	4.0
Nursing Home/Assisted Living Facility	–	–	1 / 6 beds	1 / 6 beds
Single Room Occupancy Housing	–	–	1 / 6 beds	1 / 4 beds
<b>Retail Sales</b>				
Building/Home Supplies & Equipment	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 1,000 sf
Consumer Goods (except as follows)	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Formula Retail	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Fresh Food Market or Grocery Store	1 / 1,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 1,500 sf
Farm/Vendor Market	n/a	n/a	n/a	1 / 1,500 sf

sf - Gross Leasable Square Footage

DU - Dwelling Unit

RU - Rooming Unit

## 4. MID-RISE DISTRICTS

Mid-Rise 3 (MR3)

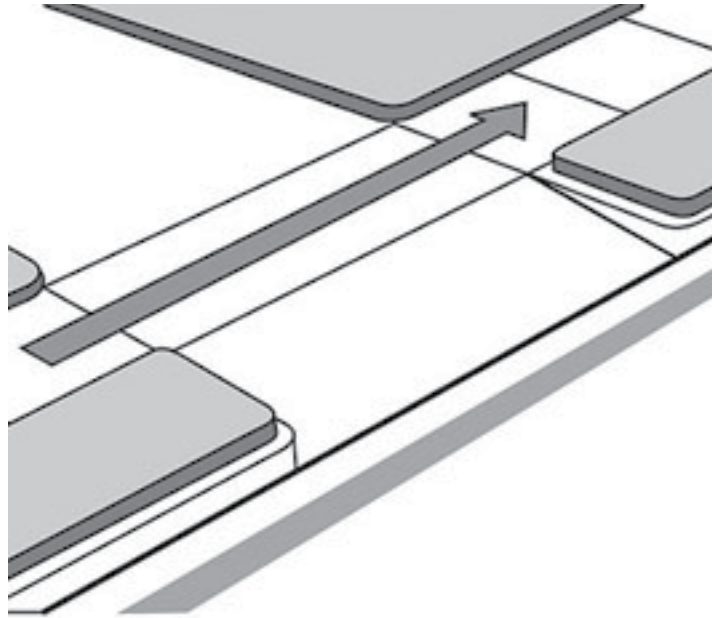
- iii). That parking provided in excess of any maximum permitted does not result in the increase in impervious lot area.

### 16. Public Realm

#### a. Sidewalk Curb Cuts

- i. A curb cut requires a permit from the City Engineer and must be compliant with all City Ordinances.
- ii. Unless otherwise specified, the City Engineer may not permit more than one (1) curb cut per front lot line of a lot.
- iii. Curb cuts are prohibited for all thoroughfares designated as a pedestrian street
- iv. Curb cuts must be located to minimize conflicts with pedestrians and bicyclists and must have a clear distance from fire hydrants, street trees, utility poles, and other furnishings as deemed necessary by the City Engineer.
  - a). Curb cuts for commercial or high-volume driveways should be at least one-hundred (100) feet from an unsignalized or signalized intersection.
  - b). Curb cuts for residential driveways should be at least twenty (20) feet from an unsignalized intersection and at least forty (40) feet from a signalized intersection.
- v. The interior width of a curb cut (between curb stones) may be no wider than the driveway, vehicular entrance, or loading facility it serves.
- vi. A driveway apron may be installed only within the furnishing zone of a sidewalk and must be constructed in accordance with all standards established by relevant City departments.
- vii. The grade, cross slope, and clear width of the walkway of a sidewalk must be maintained between the driveway apron and the abutting driveway. The appearance of the walkway (ie. scoring pattern or paving material) must indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.

**FIGURE X.X (x) Sidewalk Curb Cuts**





## 4.2 MID-RISE 4 (MR4)

### 1. Character Description

The Mid-Rise 4 district is characterized by a variety of moderate floor plate buildings up to four (4) stories in height. Buildings are set close to the sidewalk to create a defined street wall that supports pedestrian activity

and a sense of place. The district is primarily commercial, with ground floor uses that typically address the needs of residents and employees in the immediate neighborhood.



## 4. MID-RISE DISTRICTS

### Mid-Rise 4 (MR4)

#### 2. Intent

- a. To implement the Neighborhood Mixed Use context from the Future Land Context Map of SomerVision.
- b. To create, maintain, and enhance areas appropriate for smaller scale, multi-use and mixed-use buildings and neighborhood serving uses.

#### 3. Purpose

- a. To permit the development of multi-unit and mixed-use buildings that do not exceed four (4) stories in height.
- b. To provide quality commercial spaces and permit small-scale, neighborhood serving commercial uses.
- c. To provide upper story residential unit types, sizes, bedroom counts, and affordability for smaller households.

#### 4. Applicability

- a. The section is applicable to all real property within the Mid-Rise 4 district as shown on the maps of the Official Zoning Atlas of the City of Somerville.

#### 5. Development Review

- a. All development, excluding normal maintenance, requires the submittal of a development review application to the Building Official and the issuance of a Certificate of Zoning Compliance prior to the issuance of a Building Permit or Certificate of Occupancy.
- b. Proposed development may or may not necessitate the need for Site Plan Approval, a Special Permit, or a Variance based on the nature of the proposal. In such cases, additional development review is required in accordance with Article 15: Administration.
  - i. The Planning Board is the decision making authority for all development that requires Site Plan Approval or a Special Permit.
  - ii. The Zoning Board of Appeals is the Review Board for all Variances.
- c. Upon verification that no additional development review is necessary or completion of the required development review, a Zoning Compliance Certificate shall be issued by the Building Official to certify compliance with the provisions and procedures of this Ordinance.

#### 6. Building Types

- a. One (1) principal building type may be built on each lot.
- b. The following building types are permitted by Site Plan Approval in the Mid-Rise 4 district:
  - i. Apartment Building
  - ii. General Building
  - iii. Commercial Building
- c. Apartment Buildings are prohibited on any lot fronting a pedestrian street.
- d. Accessory structures are regulated according to Article 10: Development Standards of this Ordinance.

## 7. Apartment Building

A moderate floorplate, multi-story building type limited to residential uses on all stories.

The following images are examples of the apartment building type and are intended only for illustrative purposes.

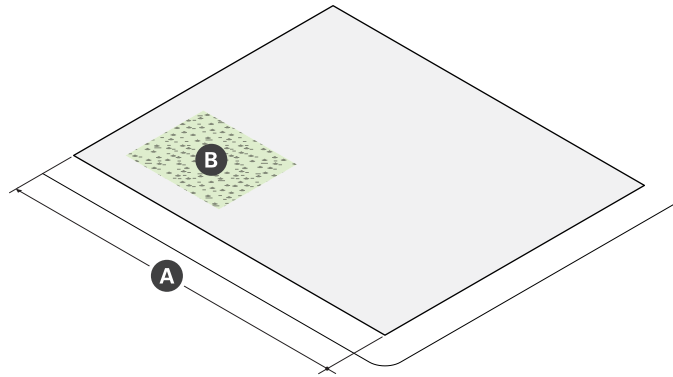


# 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

## 7. Apartment Building (continued)

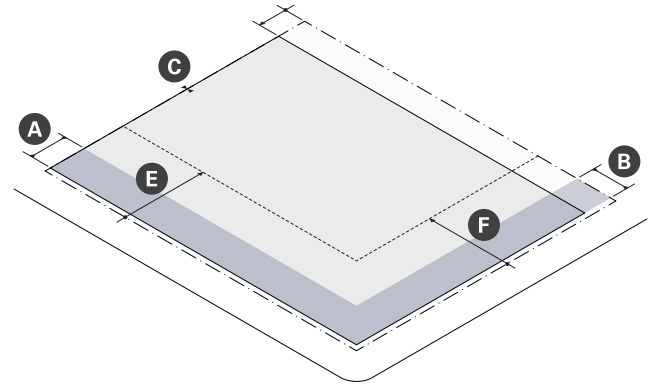
a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	90%
<b>C</b> Green Score	--
Minimum	0.25
Ideal	0.30

b. Building Placement



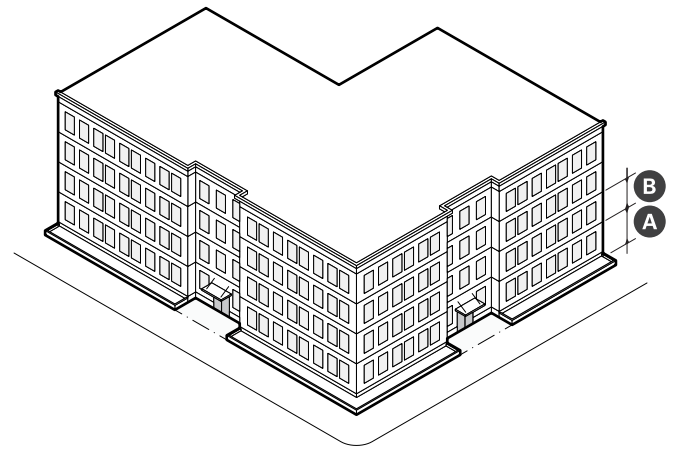
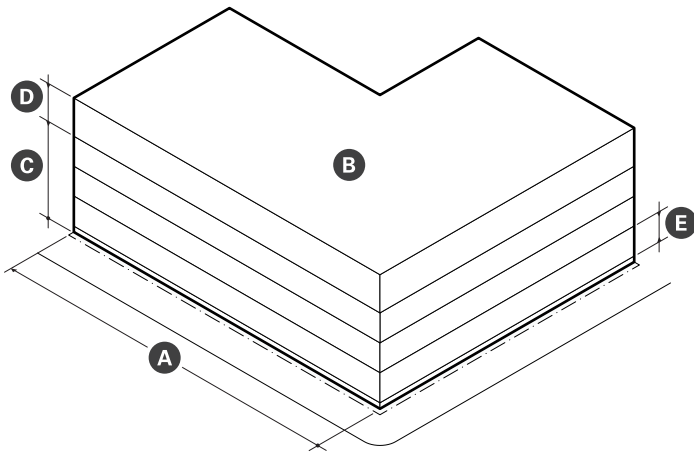
Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	12 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	12 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

Parking Setbacks	
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft

## 7. Apartment Building (continued)

c. Massing & Height

d. Uses & Features



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	15,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	4 stories
<b>E</b> Story Height (min)	10 ft
Ground Story Elevation (min)	2 ft
Building Height, Feet (max)	50 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min/max)	20% 50%
<b>B</b> Upper Story Fenestration (min/max)	20% 50%
Blank Wall (max)	20 ft

Use & Occupancy	
<b>Gross Floor Area per DU</b>	--
Lot Area < 5,500 sf	1,500
Lot Area >= 5,500 sf	1,125
Sustainable Building	850
100% Affordable Housing	850
Outdoor Amenity Space (min)	1/DU

## 4. MID-RISE DISTRICTS

### Mid-Rise 4 (MR4)

- e. Housing
  - i. An apartment building with six (6) or more dwelling units, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.
- f. Design Guidelines
  - i. Ground story dwelling units should be elevated above the grade of any adjacent sidewalk so that the window sills of dwelling unit are at or above the eye-level of passing pedestrians. This elevation change maintains privacy for occupants while also encouraging open blinds or curtains to allow natural daylight into the unit.
  - ii. Fenestration patterns and window configurations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
  - iii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.

## 8. General Building

A moderate floor plate, multi-story building type with ground floor commercial uses and no limitations or restrictions on upper stories for permitted uses. The upper stories of a general building are typically residential, but a large variety exists. As the number of stories increases, it becomes more likely for the upper stories of a general building to host commercial uses as well as residential.

The following images are examples of the general building type and are intended only for illustrative purposes.

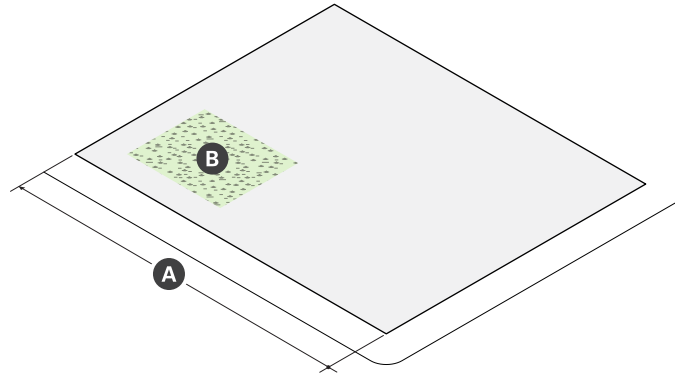


# 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

## 8. General Building (continued)

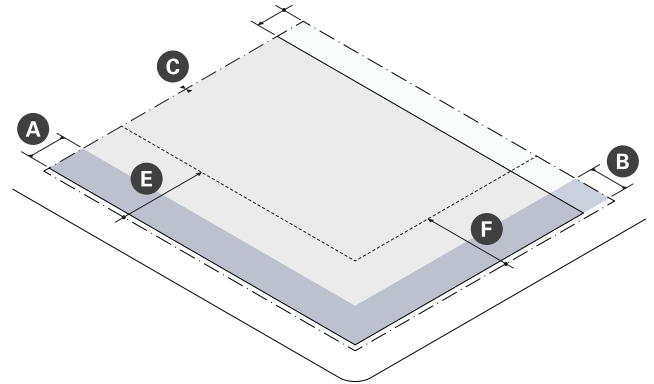
### a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	90%
<b>C</b> Green Score	--
Minimum	0.25
Ideal	0.30

### b. Building Placement



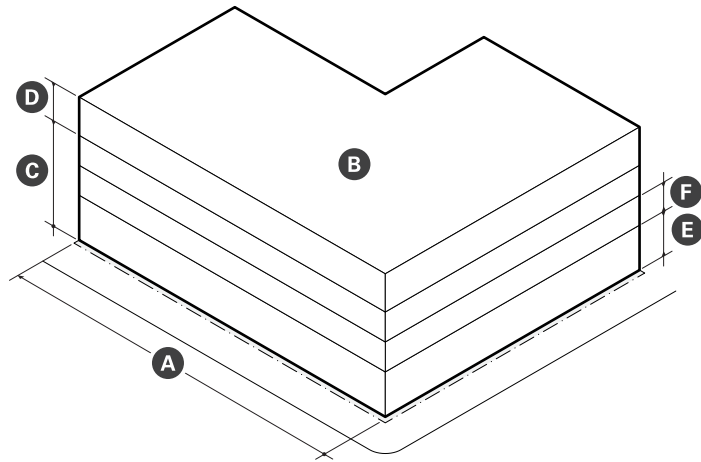
Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	15 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	15 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

Parking Setbacks	
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft



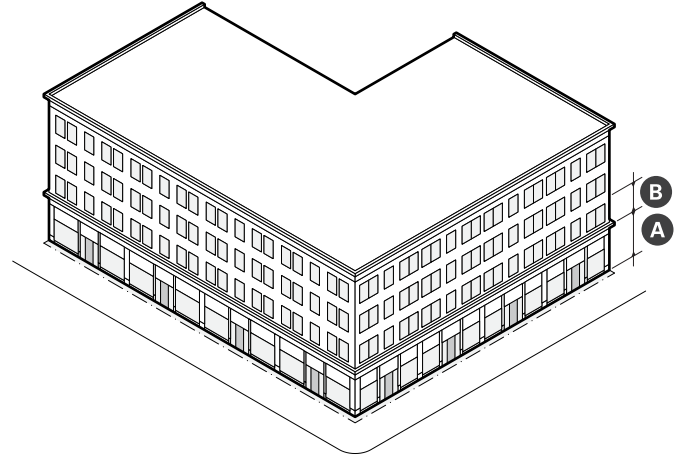
## 8. General Building (continued)

c. Massing & Height



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out, Front Street (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	15,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	4 stories
<b>E</b> Ground Story Height (min)	14 ft
<b>F</b> Upper Story Height (min)	10 ft
Building Height, Feet (max)	55 ft
Roof Type	Flat

d. Uses & Features



Facade Composition	
<b>A</b> Ground Story Fenestration (min)	70%
<b>B</b> Upper Story Fenestration (min/max)	20% 50%
Blank Wall (max)	20 ft

Use & Occupancy	
Ground Story Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft
<b>Gross Floor Area per DU</b>	--
Lot Area < 5,500 sf	1,500
Lot Area >= 5,500 sf	1,125
Sustainable Building	850
100% Affordable Housing	???
Outdoor Amenity Space (min)	1/DU

## 4. MID-RISE DISTRICTS

### Mid-Rise 4 (MR4)

- e. Housing
  - i. A general building with six (6) or more dwelling units, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.
- f. Design Guidelines
  - i. Fenestration patterns and window configurations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
  - ii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.

## 9. Commercial Building

A moderate floor plate, multi-story building type limited to commercial uses on all stories.

The following images are examples of the general building type and are intended only for illustrative purposes.

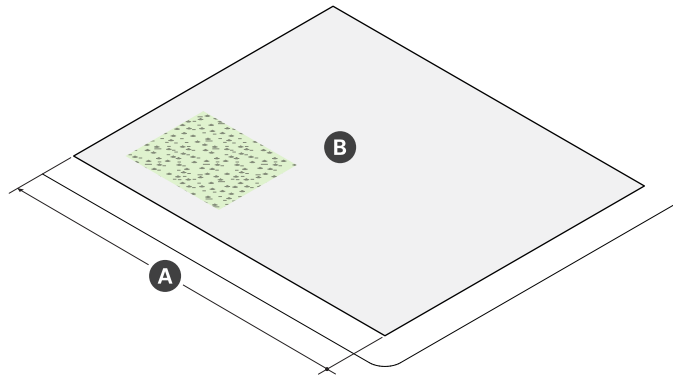


# 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

## 9. Commercial Building (continued)

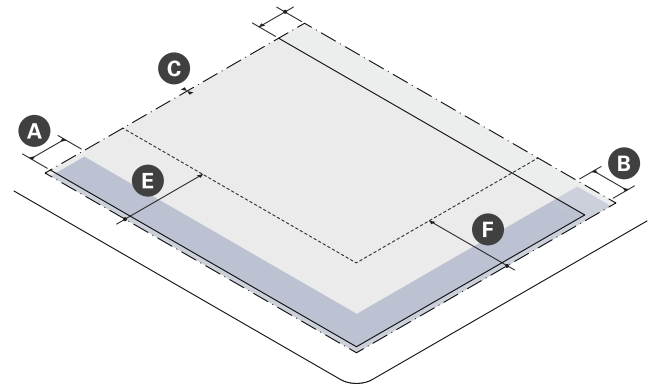
### a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	90%
<b>C</b> Green Score	--
Minimum	0.25
Ideal	0.30

### b. Building Placement

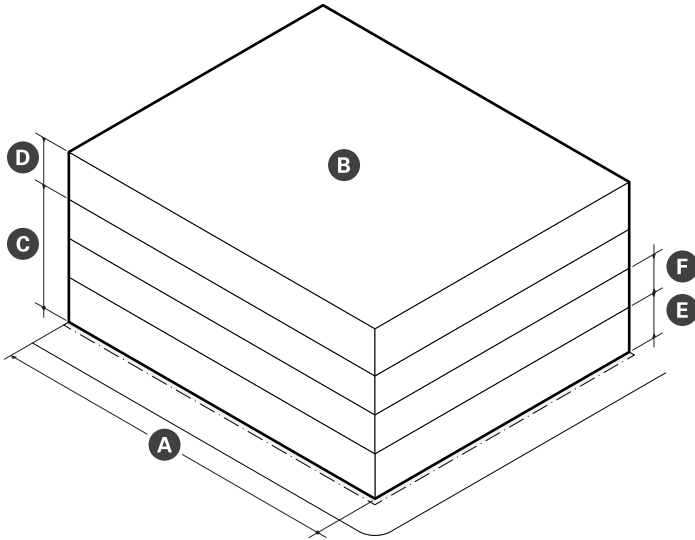


Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	15 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	15 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

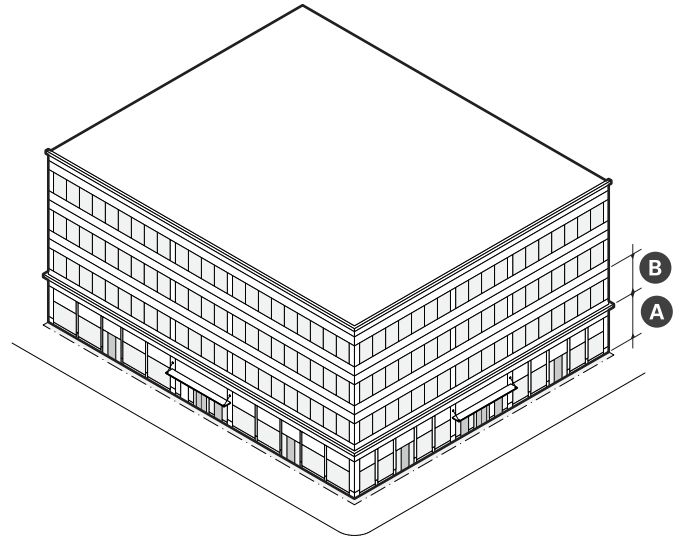
Parking Setbacks	
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft

## 9. Commercial Building (continued)

c. Massing & Height



d. Uses & Features



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out, Front Street (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	15,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	4 stories
<b>E</b> Ground Story Height (min)	14 ft
<b>F</b> Upper Story Height (min)	10 ft
Building Height, Feet (max)	65 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min)	70%
<b>B</b> Upper Story Fenestration (min/max)	20% 70%
Blank Wall (max)	20 ft

Use & Occupancy	
Principal Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft

## 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

e. Reserved

**10. Building Components**

- a. Building components are accessory elements attached to the main mass of a principal building.
- b. Building components are permitted as specified on Table 4.1 (a).
  - i. At least one (1) storefront is required for each ground floor commercial space.
- c. Building components not expressly authorized are prohibited.
- d. Unless otherwise specified, building components may attach to other building components to create assemblies of components.

**TABLE 4.1 (a) Permitted Building Components**

	Apartment Building	General Building	Commercial Building	Specific Standards
Awning	N	P	P	§4.2.10.e
Entry Canopy	P	P	P	§4.2.10.f
Lobby Entrance	P	P	P	§4.2.10.g
Storefront	N	P	P	§4.2.10.h
Stoop	P	N	N	§4.2.10.i
Bay Window	P	P	P	§4.2.10.j
Balcony	P	P	N	§4.2.10.k
Arcade	N	N	N	§4.2.10.l

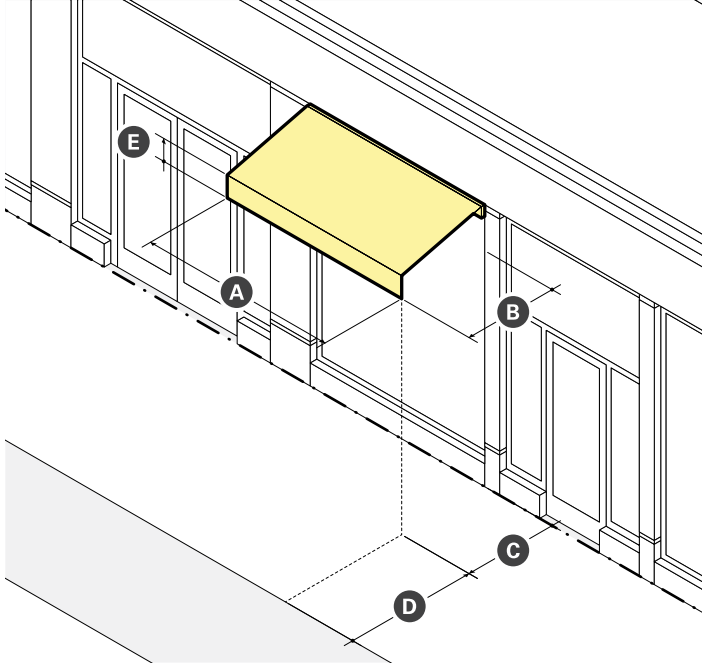
P - Permitted      SP - Special Permit Required      N - Not Permitted

# 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

## E. Awning

- i. An awning is a wall mounted frame covered with fabric or other material that provides shade and weather protection over a storefront or building entrance. **for pedestrians.**

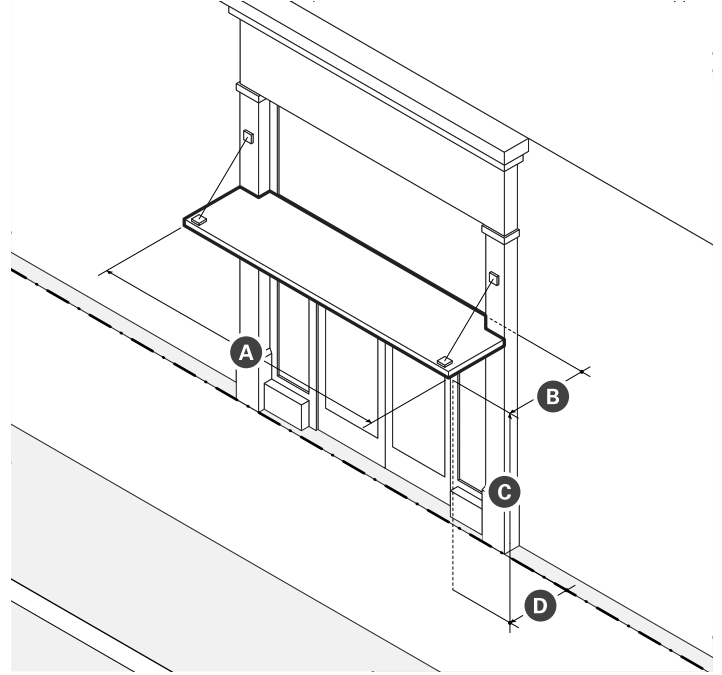


Dimensions	
<b>A</b> Width (min)	See §4.xxx)
<b>B</b> Projection (min)	3 ft
<b>C</b> Clearance (min)	8 ft
Front Setback Encroachment (max)	100%
<b>D</b> Setback from Curb (min)	2 ft
<b>E</b> Valance Height (max)	12 in

- ii. Standards
  - a). Awnings must be securely attached to and supported by the building and must fit the windows or doors the awning is attached to.
  - b). An awning must be made of durable, weather-resistant material that is water repellent.
  - c). Internally illuminated or back-lit awnings are prohibited.
  - d). An awning that projects over the sidewalk of a public thoroughfare requires compliance with all City Ordinances.

## F. Entry Canopy

- i. An entry canopy is a wall-mounted structure that provides shade and weather protection over a storefront or building entrance.



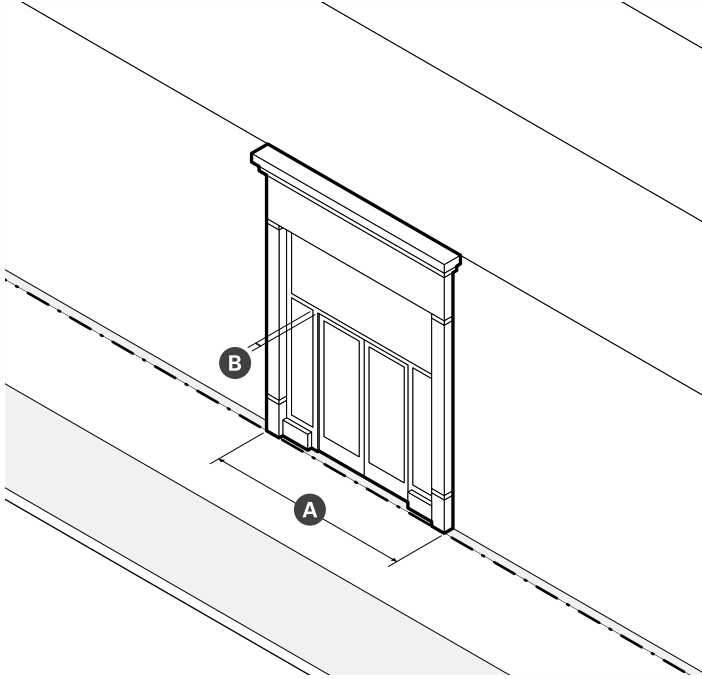
Dimensions	
<b>A</b> Width (min)	See §4.xxx)
<b>B</b> Projection (min)	3 ft
<b>C</b> Clearance (min)	8 ft
<b>D</b> Front Setback Encroachment (max)	100%
Setback from Curb (min)	2 ft

- ii. Standards
  - a). Entry canopies must be visually supported by brackets, cables, or rods.
  - b). The width of an entry canopy must be equal to or greater than the width of the doorway surround or exterior casing it is mounted over.



## G. Lobby Entrance

- i. A lobby entrance is a non-load bearing assembly of entry doors and windows providing access and light to the lobby of a building.

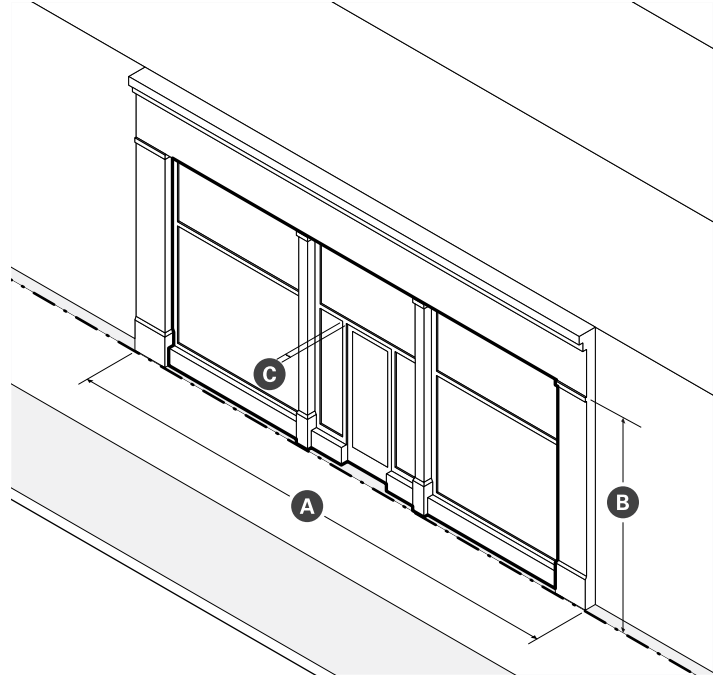


Dimensions	
<b>A</b> Width (max)	30 ft
<b>B</b> Recessed Entrance Width (max)	15 ft
Recessed Entrance Depth (max)	5 ft

- ii. Standards
  - a). When a lobby entrance is setback from the front lot line, the frontage must be paved.

## H. Storefront

- i. A storefront is a non-load bearing assembly of commercial entry doors and substantial windows for the display of goods, services, and signs.



Dimensions	
<b>A</b> Width (max)	30 ft
<b>B</b> Display Window Height (min)	8 ft
<b>C</b> Recessed Entrance Width (max)	15 ft
Recessed Entrance Depth (max)	5 ft

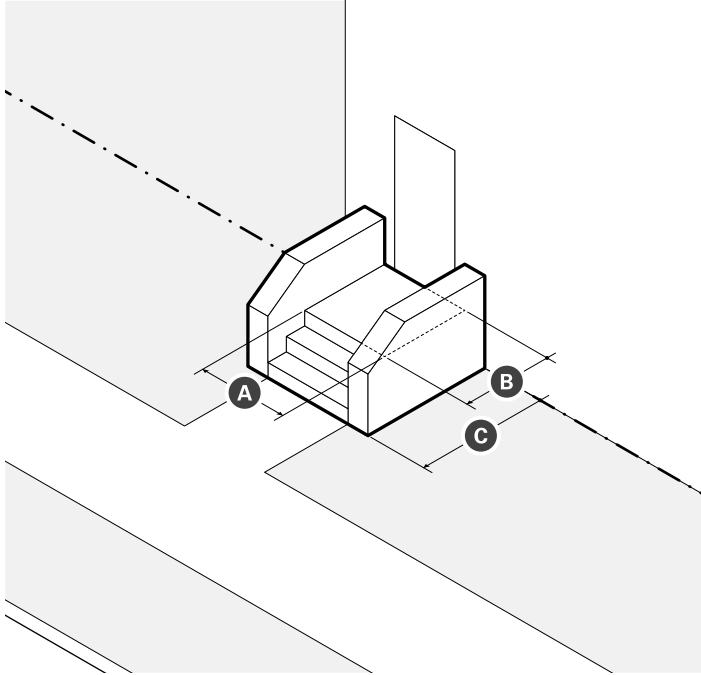
- ii. Standards
  - a). An unobstructed view of the interior space or a lighted and maintained merchandise display(s) must be provided for a depth of at least four (4) feet behind storefront display windows.
  - b). When storefronts are setback from the front lot line, the frontage area must be paved to match the abutting sidewalk.
  - c). When present, awnings and canopies must be mounted between columns, pilasters, or piers; above doorways and display windows; and below the sign band.
  - d). Exterior security grills, gates, and roll-down security doors and windows are prohibited.

# 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

## I. Stoop

- i. A stoop is a set of stairs with a landing leading to the entrance of a building.

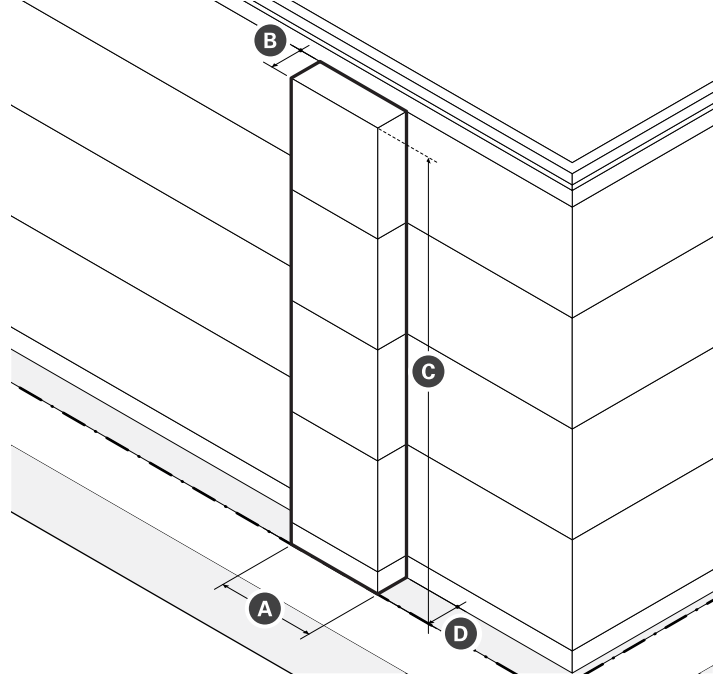


Dimensions	
<b>A</b> Landing Width (min)	4 ft
<b>B</b> Landing Depth (min)	4 ft
<b>C</b> Front Setback Encroachment (max)	100%

- ii. Standards
  - a). Paving, excluding driveways, must match the abutting sidewalk unless paved with pervious, porous, or permeable materials.
  - b). Stairs may be recessed into the building facade when the building is setback four (4) feet or less.
  - c). Stairs are not permitted to encroach onto any abutting sidewalk.
  - d). Stairs may be built perpendicular or parallel to the building facade, but must lead directly to ground level or an abutting sidewalk.

## J. Bay Window

- i. A bay window is an assembly of multiple windows that projects from a building to provide additional habitable space, increased light, multi-directional views, and articulation to an exterior wall.

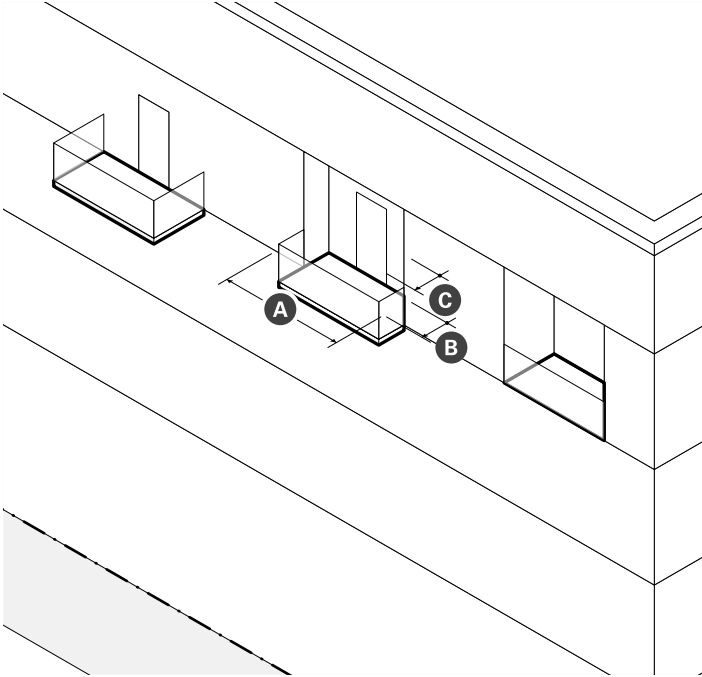


Dimensions	
<b>A</b> Width (max)	16 ft
<b>B</b> Projection (max)	3 ft
<b>C</b> Height (max)	Height of Building in Stories
<b>D</b> Front Setback Encroachment (max)	3 ft
Fenestration (min)	60%

- ii. Standards
  - a). The cumulative width of multiple bays may equal up to fifty percent (50%) of the exterior wall from which the bays project.
  - b). Bays must have a foundation extending all the way to ground level or be visually supported by brackets or other architectural supports.
  - c). Bays projecting over the sidewalk of a public thoroughfare must have at least two (2) stories of clearance and be compliant with all City Ordinances.

## K. Balcony

- i. A balcony is a platform with a railing that provides outdoor amenity space.

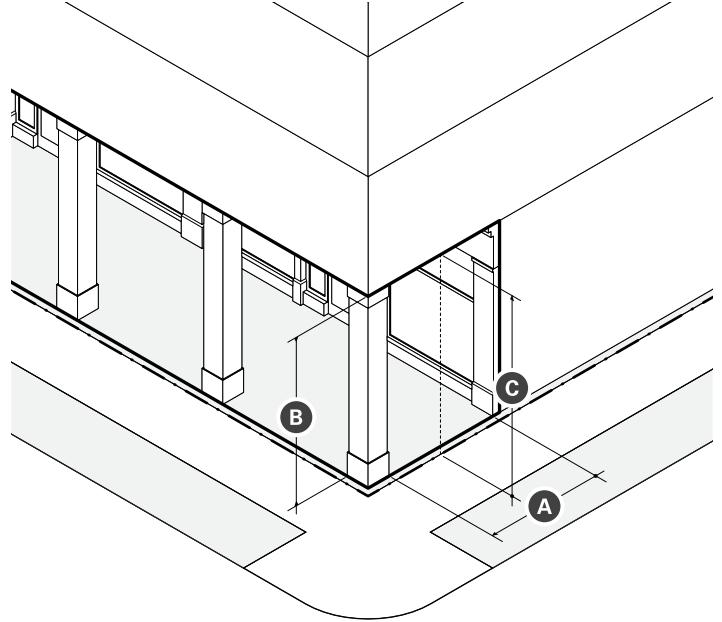


Dimensions	
<b>A</b> Width (min)	5 ft
<b>B</b> Depth (max)	5 ft
<b>D</b> Area (min)	50 ft
Clearance (min)	10 ft
Permitted Front Setback Encroachment (max)	6 ft

- ii. Standards
  - a). Balconies may be recessed, projecting, a combination of the two, or terraced as part of the roof of a portico, porch, or bay.
  - b). A balcony that projects over the sidewalk of a public thoroughfare requires compliance with all City Ordinances.
  - c). The guard rail of any balcony oriented toward a front lot line must permit visual supervision of the public realm through the posts and rails.
  - d). The guard rail of any balcony oriented toward a side or rear lot line abutting the NR district must include sight obscuring visual screening so that it is at least fifty percent (50%) opaque.

## L. Arcade

- i. An arcade is a pedestrian walkway covered by the upper floors of a building. The ground story facade is setback and upper floors are supported by a colonnade or supports.



Dimensions		
<b>A</b> Depth (min/max)	10 ft	15 ft
<b>B</b> Height (max)	1 story	
<b>C</b> Clearance (min/max)	14 ft	24 ft

- ii. Standards
  - a). Arcades must extend the entire width of a building and must have a consistent depth.
  - b). Support columns or piers may be spaced no farther apart than they are tall.
  - c). Arcades are considered part of the building for the purpose of measuring facade build out.
  - d). Arcades may be combined only with storefront and lobby entrance frontages.
  - e). The finished ceiling of an arcade interior may be arched or flat, but must have a greater clearance than the openings between columns or piers.

# 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

## 11. Building Design Standards

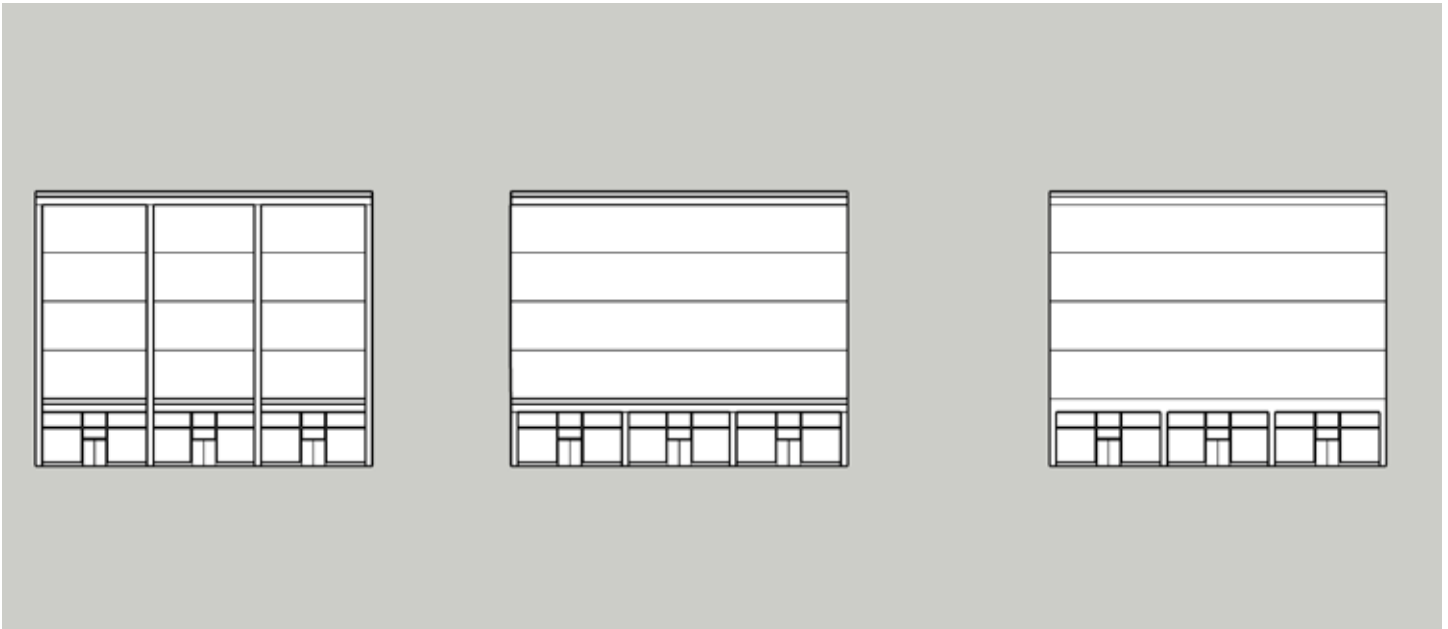
- a. Facade Design
  - i. Building facades must provide a frame for each storefront and lobby entrance of solid wall material designed as one (1) of the following:
    - a). flat wall above and to either side of a punched opening;
    - b). pilasters or columns supporting a continuous horizontal lintel (sign band) and cornice extending across the full width of the building;
    - c). a spandrel (sign band) positioned between pilasters or columns that extend from upper stories of the building to the ground.
  - ii. The required frame may be subsumed and customized into the design for individual storefronts and lobby entrances.
  - iii. Facades must be articulated to create surface relief and shadow lines that add depth to the facade through the use of architectural elements such as balconies, Bays, cladding, columns, corner boards, cornices, door surrounds, moldings, piers, pilasters, seat walls, sills, wall depth, and windows that either recess or project from the average plane of the facade by at least four (4) inches.

## 12. Architectural Design Guidelines

- a. Review Process
  - i. In addition to any official design guidelines adopted by the Review Boards, the Urban Design Commission shall determine if the guidelines of this Section are achieved by the proposed design of a building and provide recommendations to

- further improve the proposed design, as necessary.
- b. Purpose
  - i. To visually break down and minimize a building's apparent height and shorten the perceived length of a building.
  - ii. To provide structure to the composition and disposition of fenestration, enhance pedestrian orientation, and add visual interest to the public realm.
  - iii. To ensure building facades are multi-layered and contribute to a visually-rich pedestrian experience, encourage active public life on abutting sidewalks, and help to protect pedestrians from wind, sun, rain, sleet and snow with awnings or overhangs.
  - iv. To create memorable views that add to the character and enhance the aesthetics of the public realm.
- c. Facade Design
  - i. Facades should be vertically articulated into a series of Architectural Bays no wider than thirty (30) feet.
  - ii. Architectural bays should be derived, in general, from the building's structural bay spacing.
  - iii. Architectural bays should have piers (flat wall), pilasters, or columns that extend either all the way to the ground or to the cornice and sign band of ground level storefronts frames.
  - iv. Architectural bays should align, in general, with individual or groups of storefronts and lobby entrances.
  - v. Facades should be horizontally articulated into a contemporary tripartite division (base, middle,

**FIGURE 4.1 (c) Storefront Frames**



- and top). Exterior finish materials, changes in fenestration patterns, and architectural elements such as moldings, cornices, balconies, bay windows, porches, and canopies should be used to differentiate the base, middle, and top.
- vi. In most circumstances, the vertical piers (flat wall), pilasters, and columns that define Architectural Bays should always project forward and be uninterrupted by any horizontal elements of a facade, excluding any horizontal molding, cornice, or other architectural element(s) used to differentiate the tripartite division of the façade.
  - vii. Within the divisions of a facade, fenestration should align vertically within each Architectural Bay and horizontally across each story of a building.
  - viii. Upper stories should have a window to wall area proportion that is lower than that of the ground floor.
  - ix. Windows should be punched into walls with glass inset from exterior wall surfaces.
  - x. The variety of window and door sizes and proportions should be limited.
  - xi. Series of windows set side by side to form a continuous horizontal band across a facade (aka 'ribbon windows') should be avoided.
  - xii. Vents, exhausts, and other utility features on building facades should be architecturally integrated into the design of the building. Ventilation intakes/exhausts should be located to minimize adverse effects on pedestrian comfort along sidewalks and within outdoor spaces.
  - xiii. Buildings at Terminated Vistas should be articulated with design features that function as focal points.
- d. Facade Bases
- i. The base of a facade should have projecting piers, pilasters, or columns; slightly recessed storefronts; ledges, or other architectural element(s) that provide opportunities for pedestrian-oriented activities such as vending, resting, sitting, dining, or visiting along the ground floor.
  - ii. Monotonous and repetitive storefront or lobby systems, sign types, sign designs, and sign lighting should be avoided.
  - iii. Storefront doors should not obstruct pedestrians walking past or alongside a building.
  - iv. Storefronts and lobby entrances should include awnings and canopies to provide weather protection for pedestrians and reduce glare for storefront display areas. Awnings should be open-ended and operable.
  - v. Façade lighting should encourage pedestrian activity at night through layers of light that contribute to the nighttime experience.
  - vi. Lobby entrances for upper story uses should be optimally located, well defined, clearly visible, and separate from the entrance for any other ground floor uses.
  - vii. Ground floor lobby spaces should be limited in total area and width to preserve floor space and frontage for other ground floor uses. Buildings should use façade articulation, a double-height ceiling, distinctive doorway, change in wall material, change in paving material within the setback area, or some other architectural element(s) to make lobbies distinctive.
- e. Roofs
- i. Mechanical and utility equipment should be integrated into the architectural design of the building or screened from public view. Penthouses should be integrated with the buildings architectural design and not appear as foreign structures unrelated to the rest of the building.
- f. Materials
- i. The selection of materials, fenestration, and ornamentation should result in a consistent and harmonious composition that appears as a unified whole rather than a collection of unrelated parts, whatever the style.
  - ii. The type and color of materials used for a building should be kept to a minimum, preferably three (3) or less.
  - iii. Two (2) or more wall materials should be combined only one above the other.
  - iv. Wall materials appearing heavier in weight should be used below wall materials appearing lighter in weight (wood and metal above brick, and both above stone)
  - v. Horizontal or vertical board siding and shingles, whether wood, metal, plastic (vinyl), masonry, or composite materials, should be used only for smaller scale apartment buildings.
  - vi. Architectural details and finish materials for the base of a building should be constructed of architectural concrete or pre-cast cementitious panels, natural or cast stone, heavy gage metal panel, glazed or unglazed architectural terracotta, and brick.
  - vii. Exterior Insulation and Finish Systems (EIFS) should never be used for the base of a building.

## 4. MID-RISE DISTRICTS

### Mid-Rise 4 (MR4)

#### 13. Use Provisions

- a. General
  - i. The use of real property is subject to the provisions of Article 9: Use Provisions of this Ordinance. Where the provisions of this section conflict with those of Article 9, the provisions of Article 9 apply.
  - ii. Uses are permitted as specified on Table 4.1 (c). Use categories not expressly authorized are prohibited.
  - iii. All uses must comply with any use-specific standards applicable for each use in §9.2 Use Definitions & Limitations.
  - iv. Uses permitted by Special Permit require additional development review in accordance with §15.2.1 Special Permits.
- b. Use Limitations
  - i. The use of any ground story commercial space fronting a pedestrian street, excluding lobbies for upper story uses, is limited to the following principal use categories:
    - a). Arts & Creative Enterprise
    - b). Eating & Drinking Establishment
    - c). Retail
    - d). Civic & Institutional
- c. Increases in Density
  - i. Existing structures may not be altered to conflict with number of dwelling units permitted for each building type.

**TABLE 4.2 (c) MR4 Permitted Uses**

Use Category Specific Use	MR4	Use Specific Standards
<b>Arts &amp; Creative Enterprise</b>		
Artisan Production	P	§9.2.2.a
Arts Exhibition	P	§9.2.2.b
Arts Sales & Services	P	§9.2.2.c
Co-working	P	§9.2.2.d
Design Services	P	§9.2.2.e
Shared Workspaces & Arts Education	P	§9.2.2.f
<b>Civic &amp; Institutional</b>		
Community Center	P	§9.2.4.a
Hospital	SP	§9.2.4.b
Library	P	§9.2.4.c
Minor Utility Facility	SP	§9.2.4.d
Museum	P	§9.2.4.f
Private Non-Profit Club or Lodge	SP	§9.2.4.g
Public Service	P	§9.2.4.h
Religious & Educational Uses Protected by M.G.L. 40A. Sec. 3	P	§9.2.4.i
<b>Commercial Services</b>		
Animal Services (as noted below)	--	§9.2.5.a
Pet Grooming	P	§9.2.5.a.ii
Veterinarian	SP	§9.2.5.a.iv
Assembly & Entertainment	SP	§9.2.5.b
Banking & Financial Services (except as noted below)	P	§9.2.5.c
Personal Credit	SP	§9.2.5.c.i
Broadcast and/or Recording Studio	P	§9.2.5.d
Building & Home Repair Services	SP	§9.2.5.e
Business Support Services	P	§9.2.5.f
Caterer/Wholesale Food Production	SP	§9.2.5.g
Day Care Service (as noted below)	--	§9.2.5.h
Adult Day Care Center	P	§9.2.5.h.i
Child Day Care Center	P	§9.2.5.h.ii
Educational Institution	P	§9.2.5.i
Maintenance & Repair of Consumer Goods	P	§9.2.5.j
Personal Services (except as noted below)	P	§9.2.5.k
Body-Art Establishment	SP	§9.2.5.k.i
Gym or Health Club	P	§9.2.5.k.ii

P - Permitted      SP - Special Permit Required      N - Not Permitted

# 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

**TABLE 4.2 (c) MR4 Permitted Uses (continued)**

Use Category Specific Use	MR4	Use Specific Standards
Funeral Home	SP	§9.2.5.k.iii
Health Care Provider	SP	§9.2.5.k.iv
<b>Recreation Facility</b>	SP	§9.2.5.l
<b>Vehicle Parking (except as follows)</b>	--	§9.2.5.m
Bike Share Parking	P	§9.2.5.m.i
Car Share Parking (3 or less spaces)	P	§9.2.5.m.ii
Car Share Parking (4 or more spaces)	P	§9.2.5.m.ii
Commercial Parking	P	§9.2.5.m.iii
<b>Eating and Drinking</b>		
Bar/Restaurant/Tavern	P	§9.2.6.a
Bakery/Café/Coffee Shop	P	§9.2.6.b
Formula Eating & Drinking Establishment	SP	§9.2.6.c
<b>Lodging</b>		
Bed & Breakfast	SP	§9.2.8.a
Hotel or Hostel	SP	§9.2.8.b
<b>Office</b>		
General Office	P	§9.2.9.a
Research and Development and/or Laboratory	P	§9.2.9.b
<b>Residential</b>		
Household Living	SP	§9.2.10.a
Group Living (except as follows)	SP	§9.2.10.b
Community or Group Residence	P	§9.2.10.b.i
Dormitory, Fraternity or Sorority	SP	§9.2.10.b.ii
Homeless Shelter	SP	§9.2.10.b.iii
Nursing Home/Assisted Living Facility	SP	§9.2.10.b.iv
Rooming House	SP	§9.2.10.b.v
<b>Retail Sales</b>		
Building/Home Supplies & Equipment	SP	§9.2.11.a
Consumer Goods (except as follows)	P	§9.2.11.b
Alcohol Sales	SP	§9.2.11.b.i
Drug Paraphernalia Store	N	§9.2.11.b.ii
Firearms Sales	N	§9.2.11.b.iii
Medical Marijuana	N	§9.2.11.b.iv

P - Permitted      SP - Special Permit Required      N - Not Permitted



**TABLE 4.2 (c) MR4 Permitted Uses (continued)**

Use Category Specific Use	MR4	Use Specific Standards
Pet Store	SP	§9.2.11.b.v
Formula Retail	SP	§9.2.11.c
Fresh Food Market or Grocery Store	P	§9.2.11.d
Farm/Vendor Market	P	§9.2.11.e
<b>Urban Agriculture</b>		
Farming (as noted below)	--	§9.2.12.a
Commercial Farm	P	§9.2.12.a.i
Community Farm	P	§9.2.12.a.ii
Community Gardening	P	§9.2.12.b
<b>Accessory Uses</b>		
Home Occupations (as noted below)	--	§9.2.13.b
Home Office	P	§9.2.13.b.vi
Urban Agriculture (as noted below)	--	§9.2.13.d
Apiculture	P	§9.2.13.d.i
Aviculture	P	§9.2.13.d.ii
Commercial Farming	P	§9.2.13.d.iii
Residential Gardening	P	§9.2.13.d.iv
Vehicle Parking, Accessory (except as follows)	P	§9.2.13.e
Home Business Vehicle Parking	N	§9.2.13.e.i

P - Permitted      SP - Special Permit Required      N - Not Permitted

## 4. MID-RISE DISTRICTS

### Mid-Rise 4 (MR4)

#### 14. Development Standards

- a. General
  - i. Development is subject the provisions of Article 10 Site Development of this Ordinance. Where the provisions of this section conflict with those of Article 10, the provisions of Article 10 apply.
- b. Signs
  - i. A sign, individual numerals or letters, or a nonelectrical nameplate identifying the property address is required for all real property as follows:
    - a). Each ground story non-residential use must identify the street address either on the principal entrance door or above or beside the principal entrance of the use.
    - b). All residential building types must identify the street address either on the principal entrance door, above or beside the principal entrance, or on a mailbox.
  - ii. Address signs must be made easily visible through the use of colors or materials that contrast with the background material they are attached to and must be conspicuously located to provide visibility from the thoroughfare that the building faces.
  - iii. Address signs must be twelve (12) inches in height or less and may include the name of the occupant.
- i. New driveways require a permit from the City Engineer.
- ii. Driveways must be compliant with all City Ordinances and constructed in accordance with all standards established by relevant City departments.
- iii. Driveways are not permitted in the frontage area between a building and the front lot line.
- iv. Driveways may be no wider than twenty four (24) feet in the frontage area of a lot.
- v. Driveways may provide access in whole or in part on or across an abutting lot(s), provided that an access easement exists between all property owners.

#### 15. Parking & Mobility

- a. General
  - i. Development is subject the provisions of Article 11 Parking & Mobility of this Ordinance. Where the provisions of this section conflict with those of Article 11, the provisions of Article 11 apply.
  - ii. Vehicular parking must be provided as specified on Table 4.1 (d), except as follows:
    - a). Non-residential uses with five thousand (5,000) square feet or less of gross leasable floor area are exempt from any minimum requirements of Table 4.1. (d).
    - b). Any change in use within a non-residential structure constructed before the effective date of this Ordinance, provided that the change is to a permitted use, is exempt from any minimum requirements of Table 4.1 (d).
  - iii. There are no parking requirements for accessory uses.
  - iv. Motor vehicle parking spaces may be shared between uses on the same lot and buildings on the same block in accordance with §11.3 Shared Parking.
- b. Type
  - i. Motor vehicle parking may be provided as above ground structured parking or underground structured parking. Surface parking is prohibited.
- c. Driveways
  - d. Parking Design
    - i. The design of all parking is subject to §11.1 Bicycle Parking and §11.2 Motor Vehicle Parking of this Ordinance.
  - e. Parking Location
    - i. Required vehicular parking, excluding any required handicapped parking, may be provided on a contiguous lot under the same ownership as the lot that the parking will serve as follows:
      - a). Pedestrian access to off-site vehicular parking must be via a paved sidewalk or walkway.
      - b). A lease, recorded covenant, or other comparable legal instrument guaranteeing long term use of the site must be provided to the review board or building official and executed and filed with the Registry of Deeds.
    - ii. For real property located in more than one municipality, motor vehicle parking need not be located within the City of Somerville.
  - f. Unbundled Parking
    - i. Motor vehicle parking spaces must be rented or leased as an option rather than a requirement of the rental, lease, or purchase of a dwelling unit or non-residential floor space.
    - ii. Bicycle parking must be provided at no cost or fee to customers, visitors, employees, tenants, and residents.
  - g. Parking Relief
    - i. Relief from the parking standards of Table 4.2 (d) requires a Special Permit.
      - a). In its discretion to approve or deny a special permit authorizing relief from the parking standards of Table 4.2 (d), the review board shall consider, at least, the following:
        - i). The supply and demand of on-street parking in the neighborhood, as determined through a parking study.
        - ii). Mobility management programs and services provided by the applicant to reduce the demand for parking.

**TABLE 4.2 (d) MR4 Vehicular Parking**

\*See Transit Orientation Map for distance to a Transit Station

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area (max)	Outside of a Transit Area (min)
<b>Arts &amp; Creative Enterprise</b>				
All Permitted Uses	1 / 10,000 sf	1 / 3,000 sf	1 / 800 sf	1 / 1,000 sf
<b>Civic &amp; Institutional</b>				
Community Center	1 / 10,000 sf	4 / 10,000 sf	1 / 1,800 sf	1 / 600 sf
Educational Facility	1.0 / classroom	4.0 / classroom	1.5 / classroom	3.0 / classroom
Hospital	10 per entrance	1 / 5,000 sf	1 / 200 sf	1 / 1,000 sf
Library	1 / 3,000 sf	1 / 5,000 sf	1 / 800 sf	1 / 500 sf
Minor Utility Facility	n/a	n/a	n/a	n/a
Museum	1 / 2,000 sf	1 / 10,000 sf	1 / 800 sf	1 / 500 sf
Private Non-Profit Club or Lodge	1 / 2,000 sf	1 / 10,000 sf	1 / 200 sf	1 / 1,000 sf
<b>Commercial Services</b>				
Animal Services (as noted below)	1 / 2,500 sf	1 / 10,000 sf	–	–
Pet Grooming	–	–	1 / 500 sf	1 / 400 sf
Veterinarian	1 / 2,000 sf	1 / 5,000 sf	1 / 500 sf	1 / 500 sf
Assembly & Entertainment	1 / 40 seats	1 / 10,000 sf	1 / 6 seats	1 / 6 seats
Banking & Financial Services (except as noted below)	1 / 2,000 sf	1 / 10,000 sf	1 / 450 sf	1 / 400 sf
Broadcast and/or Recording Studio	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 600 sf
Building & Home Repair Services	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 2,000 sf
Business Support Services	1 / 2,500 sf	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Caterer/Wholesale Food Production	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 1,000 sf
Day Care Service	2	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Maintenance & Repair of Consumer Goods	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Personal Services (except as noted below)	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Gym or Health Club	–	–	1 / 200 sf	1 / 500 sf
Funeral Home	–	–	–	–
Health Care Provider	1 / 2,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 300 sf
Recreation Facility	1 / 2,500 sf	1 / 10,000 sf	–	–

sf - Gross Leasable Square Footage

DU - Dwelling Unit

RU - Rooming Unit

# 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

**TABLE 4.2 (d) Vehicular Parking (continued)**

\*See Transit Orientation Map for distance to a Transit Station

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area (max)	Outside of a Transit Area (min)
<b>Eating and Drinking</b>				
Bar/Restaurant/Tavern	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
Bakery/Café/Coffee Shop	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
Formula Eating & Drinking Establishment	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
<b>Lodging</b>				
Bed & Breakfast	1 / 20 rooms	1 / 10 rooms	1 / DU + 1 / 4 guest rooms	1 / DU + 1 / 4 guest rooms
Hotel or Hostel	1 / 20 rooms	1 / 10 rooms	1 / 2 guest rooms	1 / 2 guest rooms
Short Term Rental	1 / 20 rooms	1 / 10 rooms	n/a	n/a
<b>Office</b>				
Co-Working	1 / 20,000 sf	1 / 3,000 sf	1 / 1,200 sf	1 / 800 sf
General Office	1 / 20,000 sf	1 / 3,000 sf	1 / 900 sf	1 / 650 sf
Research and Development and/or Laboratory	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
<b>Residential</b>				
Household Living	0.1 / DU	1.0 / DU	1.0 / DU	1.0 / DU
Group Living (except as follows)	0.05 / room	0.5 / room	–	–
Community or Group Residence	–	–	–	–
Dormitory, Fraternity or Sorority	0.1 / room	0.5 / room	.05 / bed	1.0 / 4 beds
Homeless Shelter	–	–	4.0	4.0
Nursing Home/Assisted Living Facility	–	–	1 / 6 beds	1 / 6 beds
Single Room Occupancy Housing	–	–	1 / 6 beds	1 / 4 beds
<b>Retail Sales</b>				
Building/Home Supplies & Equipment	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 1,000 sf
Consumer Goods (except as follows)	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Formula Retail	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Fresh Food Market or Grocery Store	1 / 1,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 1,500 sf
Farm/Vendor Market	n/a	n/a	n/a	1 / 1,500 sf

sf - Gross Leasable Square Footage

DU - Dwelling Unit

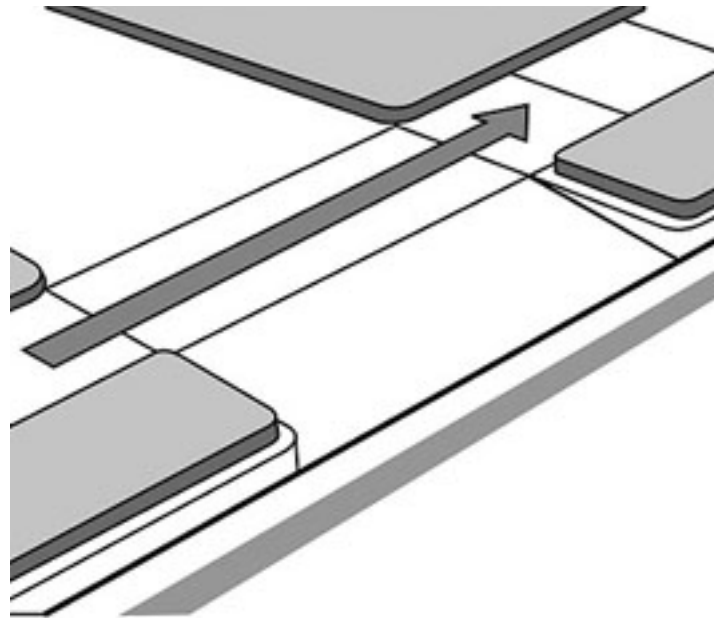
RU - Rooming Unit

- iii). That parking provided in excess of any maximum permitted does not result in the increase in impervious lot area.

## 16. Public Realm

- a. Pedestrian Circulation
  - i. When development occurs on any lot abutting a sidewalk that is less than twelve (12) feet in total width, the building must be setback an additional distance to accommodate expansion of the abutting sidewalk to a width of at least twelve (12) feet. The minimum and maximum front setbacks for each building type are increased accordingly.
- b. Sidewalk Curb Cuts
  - i. A curb cut requires a permit from the City Engineer and must be compliant with all City Ordinances.
  - ii. Unless otherwise specified, the City Engineer may not permit more than one (1) curb cut per front lot line of a lot.
  - iii. Curb cuts are prohibited for all thoroughfares designated as a pedestrian street
  - iv. Curb cuts must be located to minimize conflicts with pedestrians and bicyclists and must have a clear distance from fire hydrants, street trees, utility poles, and other furnishings as deemed necessary by the City Engineer.
    - a). Curb cuts for commercial or high-volume driveways should be at least one-hundred (100) feet from an unsignalized or signalized intersection.
    - b). Curb cuts for residential driveways should be at least twenty (20) feet from an unsignalized intersection and at least forty (40) feet from a signalized intersection.
  - v. The interior width of a curb cut (between curb stones) may be no wider than the driveway, vehicular entrance, or loading facility it serves.
  - vi. A driveway apron may be installed only within the furnishing zone of a sidewalk and must be constructed in accordance with all standards established by relevant City departments.
  - vii. The grade, cross slope, and clear width of the walkway of a sidewalk must be maintained between the driveway apron and the abutting driveway. The appearance of the walkway (ie. scoring pattern or paving material) must indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.

**FIGURE X.X (x) Sidewalk Curb Cuts**



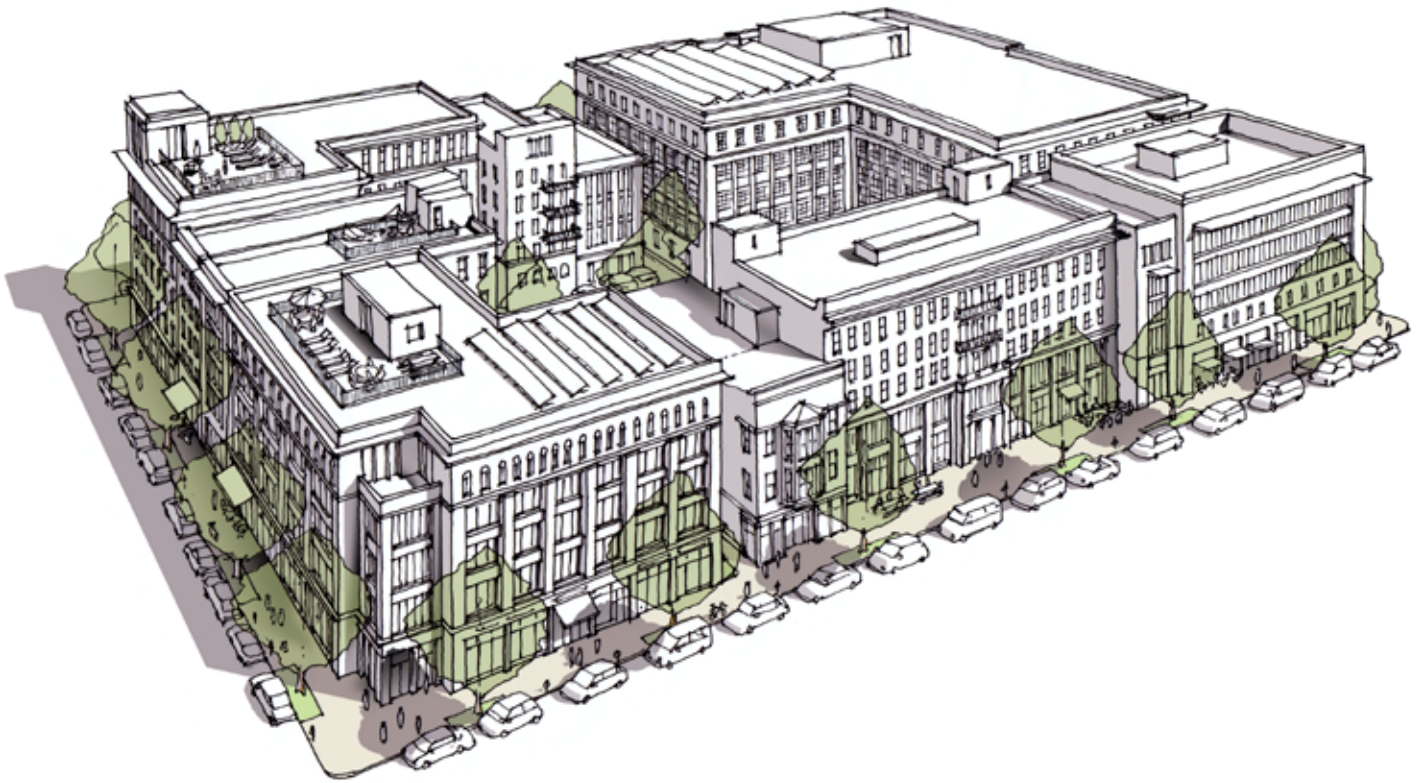
# 4. MID-RISE DISTRICTS

Mid-Rise 4 (MR4)

## 4.3 MID-RISE 5 (MR5)

### 1. Description

The Mid-Rise 5 district is characterized by a variety of moderate to large floor plate buildings up to five (5) stories in height with an upper story step-back after the fourth (4th) floor. Buildings are set close to the sidewalk to create a defined street wall that supports pedestrian activity and a sense of place. The district is primarily commercial, with ground floor uses that address the needs of residents and employees from the immediate neighborhood, but can also provide goods and services to the larger Somerville community and visitors from the broader Boston metropolitan area.



## 4. MID-RISE DISTRICTS

### Mid-Rise 5 (MR5)

#### 2. Intent

- a. To implement the Urban Mixed Use context from the Future Land Context Map of SomerVision.
- b. To create, maintain, and enhance areas appropriate for moderate scale, multi-use and mixed-use buildings and neighborhood- and community-serving uses.

#### 3. Purpose

- a. To permit the development of multi-unit and mixed-use buildings that do not exceed five (5) stories in height.
- b. To provide quality commercial spaces and permit small and medium scale, neighborhood- and community-serving commercial uses.
- c. To provide upper story residential unit types, sizes, bedroom counts, and affordability for smaller households.

#### 4. Applicability

- a. The section is applicable to all real property within the Mid-Rise 5 district as shown on the maps of the Official Zoning Atlas of the City of Somerville.

#### 5. Development Review

- a. All development, excluding normal maintenance, requires the submittal of a development review application to the Building Official and the issuance of a Certificate of Zoning Compliance prior to the issuance of a Building Permit or Certificate of Occupancy.
- b. Proposed development may or may not necessitate the need for Site Plan Approval, a Special Permit, or a Variance based on the nature of the proposal. In such cases, additional development review is required in accordance with Article 15: Administration.
  - i. The Planning Board is the decision making authority for all development that requires Site Plan Approval or a Special Permit.
  - ii. The Zoning Board of Appeals is the Review Board for all Variances.
- c. Upon verification that no additional development review is necessary or completion of the required development review, a Zoning Compliance Certificate shall be issued by the Building Official to certify compliance with the provisions and procedures of this Ordinance.

#### 6. Building Types

- a. One (1) principal building type may be built on each lot.
- b. The following building types are permitted by Site Plan Approval in the Mid-Rise 5 district:
  - i. Apartment Building
  - ii. General Building
  - iii. Commercial Building
- c. Apartment Buildings are prohibited on any lot fronting a pedestrian street.
- d. Accessory structures are regulated according to Article 10: Development Standards of this Ordinance.



**7. Apartment Building**

A moderate floorplate, multi-story building type limited to residential uses on all stories.

The following images are examples of the apartment building type and are intended only for illustrative purposes.

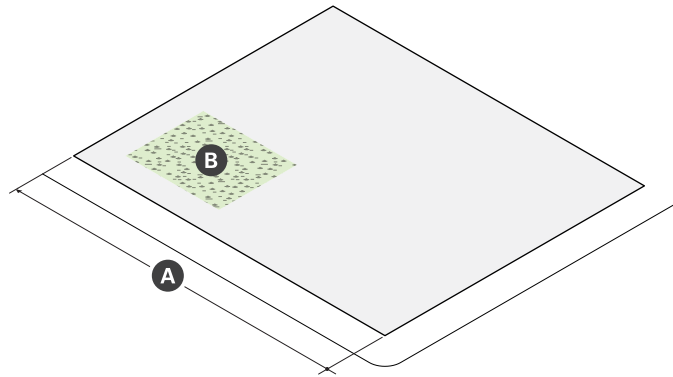


# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 7. Apartment Building (continued)

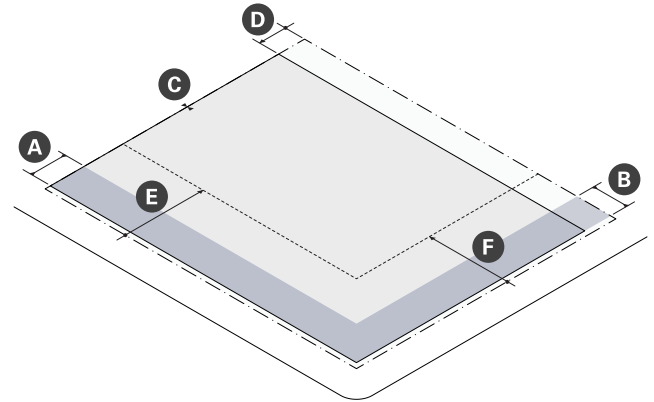
a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	90%
<b>C</b> Green Score	--
Minimum	0.20
Ideal	0.25

b. Building Placement



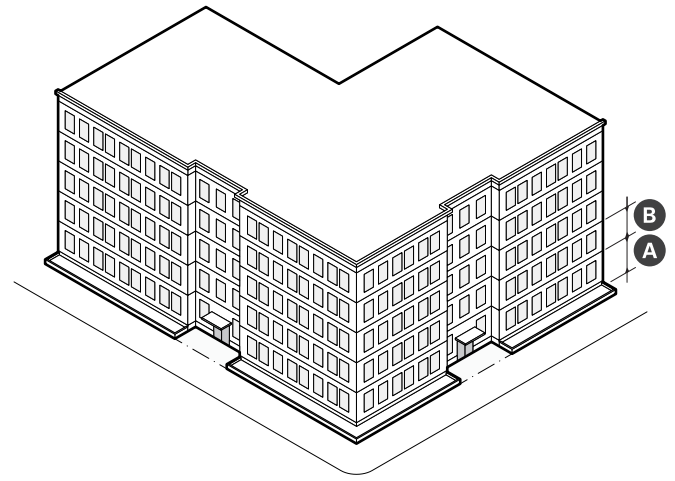
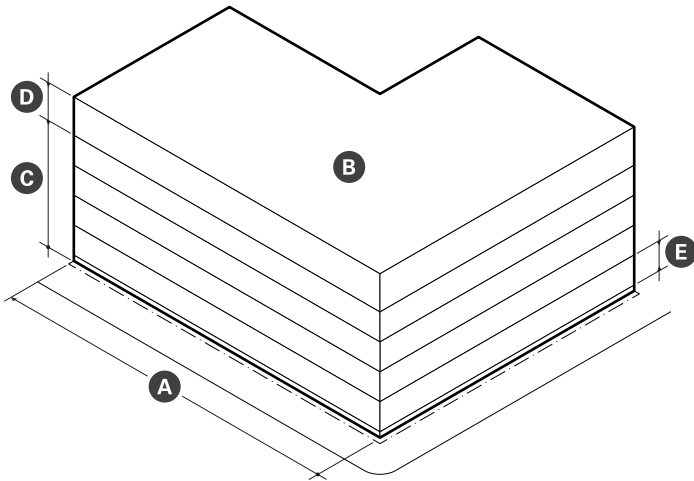
Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	12 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	12 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

Parking Setbacks	
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft

## 7. Apartment Building (continued)

c. Massing & Height

d. Uses & Features



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out, Front Street (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	20,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	5 stories
Upper Story Step-Back (min)	--
Primary/Secondary Front	10 ft
Side/Rear Abutting NR	30 ft
<b>E</b> Ground Story Height	14 ft
<b>F</b> Upper Story Height	10 ft
Building Height, Feet (max)	60 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min/max)	20% 50%
<b>B</b> Upper Story Fenestration (min/max)	20% 50%
Blank Wall (max)	20 ft

Use & Occupancy	
<b>Gross Floor Area per DU</b>	--
Lot Area < 5,500 sf	1,500
Lot Area >= 5,500 sf	1,125
Sustainable Building	850
100% Affordable Housing	850
Outdoor Amenity Space (min)	1/DU

## 4. MID-RISE DISTRICTS

### Mid-Rise 5 (MR5)

- e. Housing
  - i. An apartment building with six (6) or more dwelling units, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.
- f. Design Guidelines
  - i. Ground story dwelling units should be elevated above the grade of any adjacent sidewalk so that the window sills of dwelling unit are at or above the eye-level of passing pedestrians. This elevation change maintains privacy for occupants while also encouraging open blinds or curtains to allow natural daylight into the unit.
  - ii. Fenestration patterns and window configurations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
  - iii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.

## 8. General Building

A moderate floor plate, multi-story building type with ground floor commercial uses and no limitations or restrictions on upper stories for permitted uses. The upper stories of a general building are typically residential, but a large variety exists. As the number of stories increases, it becomes more likely for the upper stories of a general building to host commercial uses as well as residential.

The following images are examples of the general building type and are intended only for illustrative purposes.

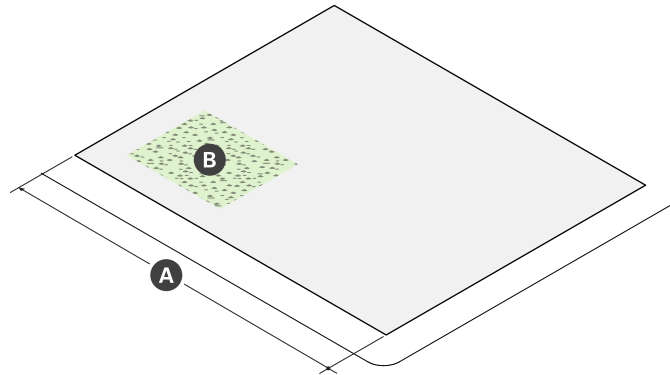


# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 8. General Building (continued)

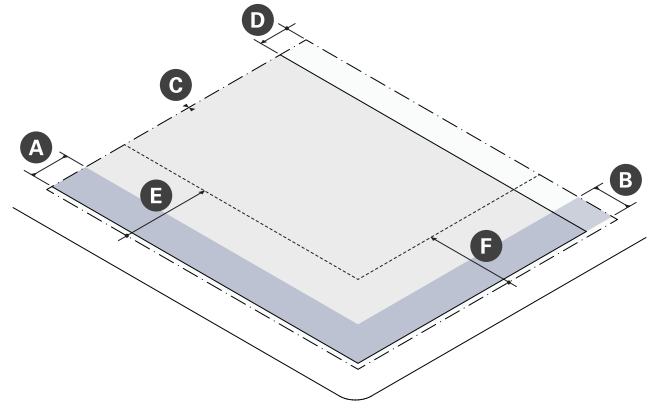
a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	90%
<b>C</b> Green Score	--
Minimum	0.20
Ideal	0.25

b. Building Placement

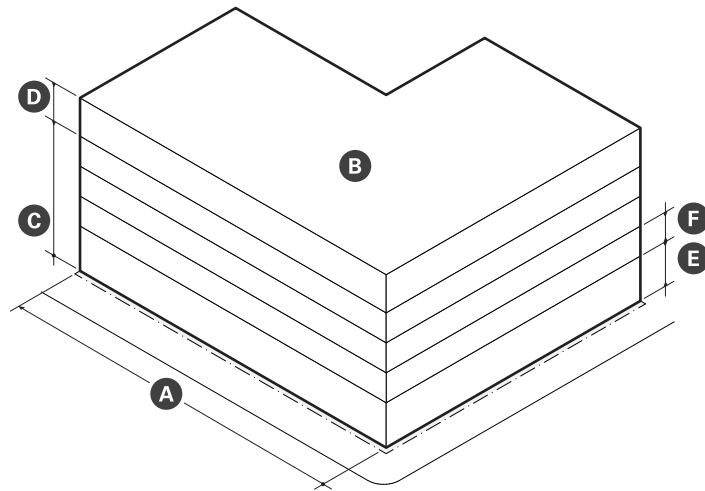


Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	15 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	15 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

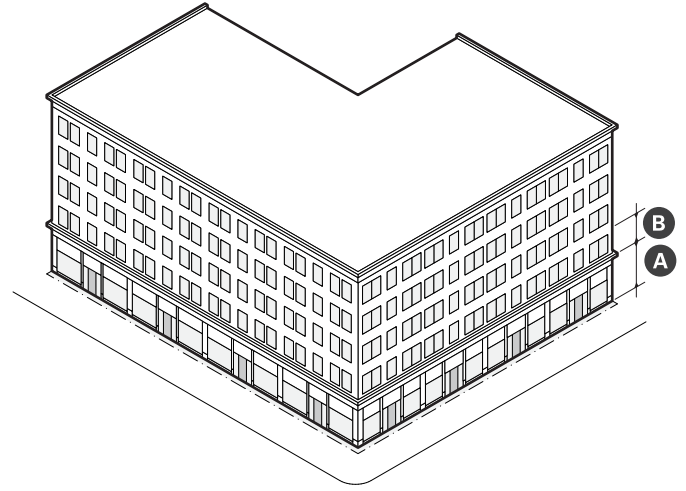
Parking Setbacks	
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft

## 8. General Building (continued)

c. Massing & Height



d. Uses & Features



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	20,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	5 stories
Upper Story Step-Back (min)	--
Primary/Secondary Front	10 ft
Side/Rear Abutting NR	30 ft
<b>E</b> Ground Story Height	14 ft
<b>F</b> Upper Story Height	10 ft
Building Height, Feet (max)	65 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min)	70%
<b>B</b> Upper Story Fenestration (min/max)	20% 50%
Blank Wall (max)	20 ft

Use & Occupancy	
Ground Story Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft
<b>Gross Floor Area per DU</b>	--
Lot Area < 5,500 sf	1,500
Lot Area >= 5,500 sf	1,125
Sustainable Building	850
100% Affordable Housing	850
Outdoor Amenity Space (min)	1/DU

## 4. MID-RISE DISTRICTS

### Mid-Rise 5 (MR5)

- e. Housing
  - i. A general building with six (6) or more dwelling units, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.
- f. Design Guidelines
  - i. Fenestration patterns and window configurations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
  - ii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.



## 9. Commercial Building

A moderate floor plate, multi-story building type limited to commercial uses on all stories.

The following images are examples of the commercial building type and are intended only for illustrative purposes.



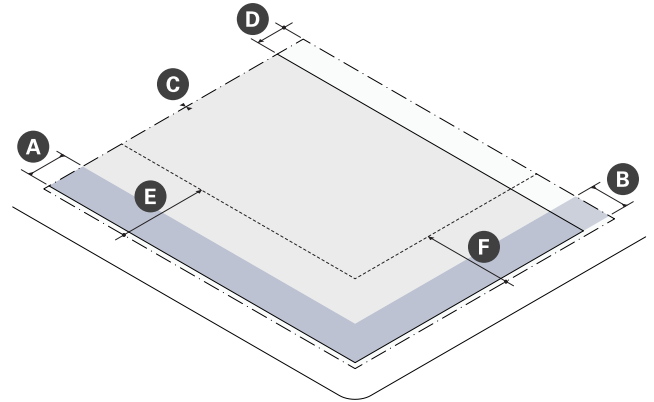
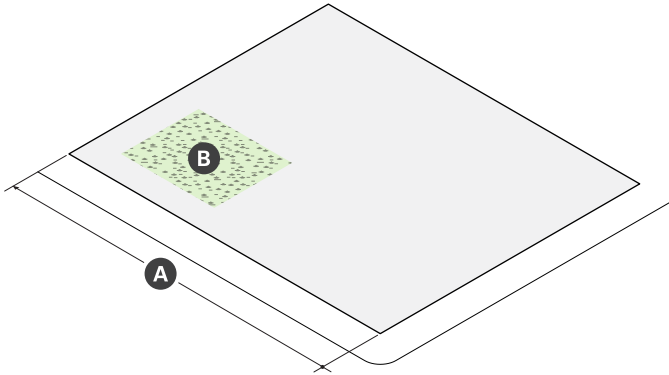
# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 9. Commercial Building (continued)

a. Lot Standards

b. Building Placement



### Lot Dimensions

<b>A</b> Width (min)	30 ft
----------------------	-------

### Lot Development

<b>B</b> Lot Coverage (max)	90%
<b>C</b> Green Score	--
Minimum	0.20
Ideal	0.25

### Building Setbacks

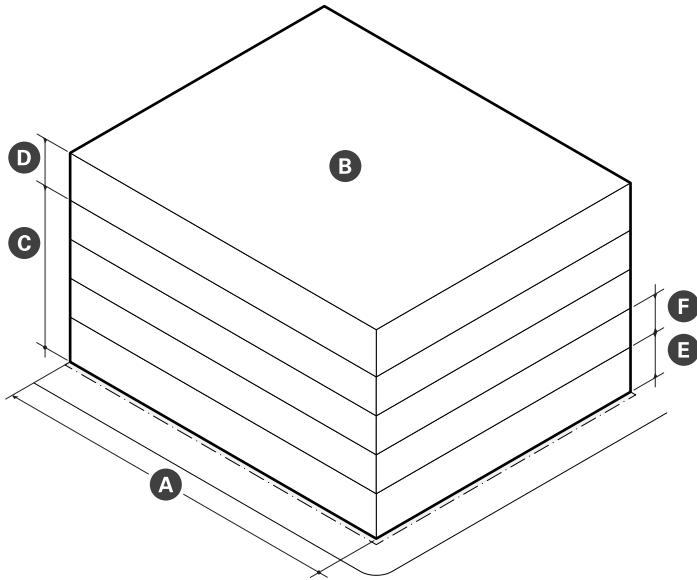
<b>A</b> Primary Front Setback (min/max)	2 ft	15 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	15 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

### Parking Setbacks

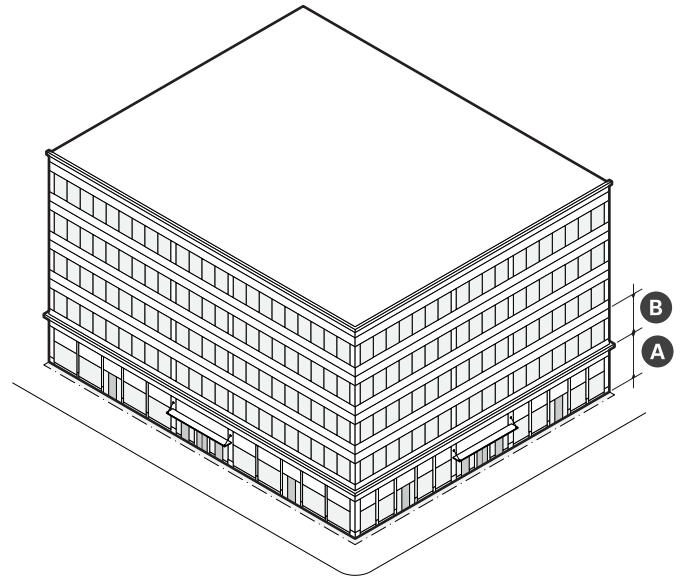
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft

## 9. Commercial Building (continued)

c. Massing & Height



d. Uses & Features



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	20,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	5 stories
Upper Story Step-Back (min)	--
Primary/Secondary Front	10 ft
Side/Rear Abutting NR	30 ft
<b>E</b> Ground Story Height	14 ft
<b>F</b> Upper Story Height	10 ft
Building Height, Feet (max)	75 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min)	70%
<b>B</b> Upper Story Fenestration (min/max)	20% 70%
Blank Wall (max)	20 ft

Use & Occupancy	
Ground Story Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft

## 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

e. Reserved

**10. Building Components**

- a. Building components are accessory elements attached to the main mass of a principal building.
- b. Building components are permitted as specified on Table 4.1 (a).
  - i. At least one (1) storefront is required for each ground floor commercial space.
- c. Building components not expressly authorized are prohibited.
- d. Unless otherwise specified, building components may attach to other building components to create assemblies of components.

**TABLE 4.1 (a) Permitted Building Components**

	Apartment Building	General Building	Commercial Building	Specific Standards
Awning	N	P	P	§4.3.10.e
Entry Canopy	P	P	P	§4.3.10.f
Lobby Entrance	P	P	P	§4.3.10.g
Storefront	N	P	P	§4.3.10.h
Stoop	P	N	N	§4.3.10.i
Bay Window	P	P	P	§4.3.10.j
Balcony	P	P	N	§4.3.10.k
Arcade	N	N	N	§4.3.10.l

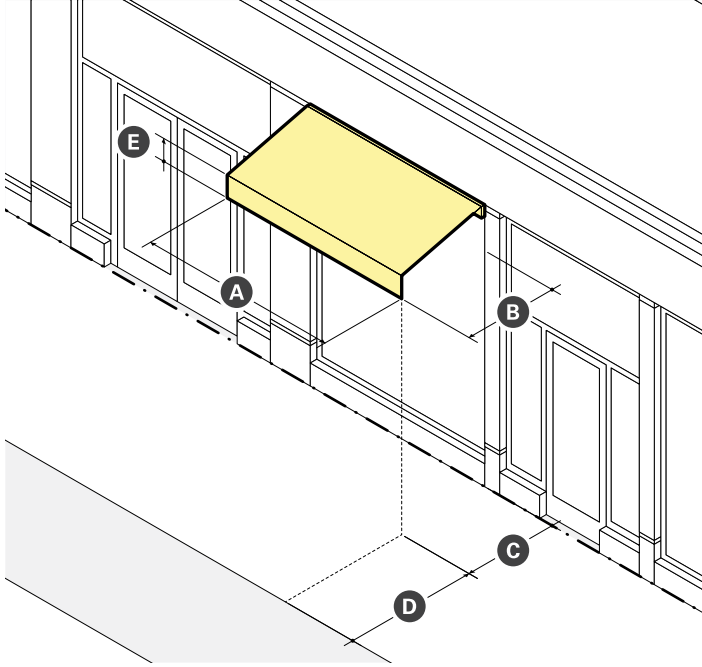
P - Permitted      SP - Special Permit Required      N - Not Permitted

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## E. Awning

- i. An awning is a wall mounted frame covered with fabric or other material that provides shade and weather protection over a storefront or building entrance. **for pedestrians.**

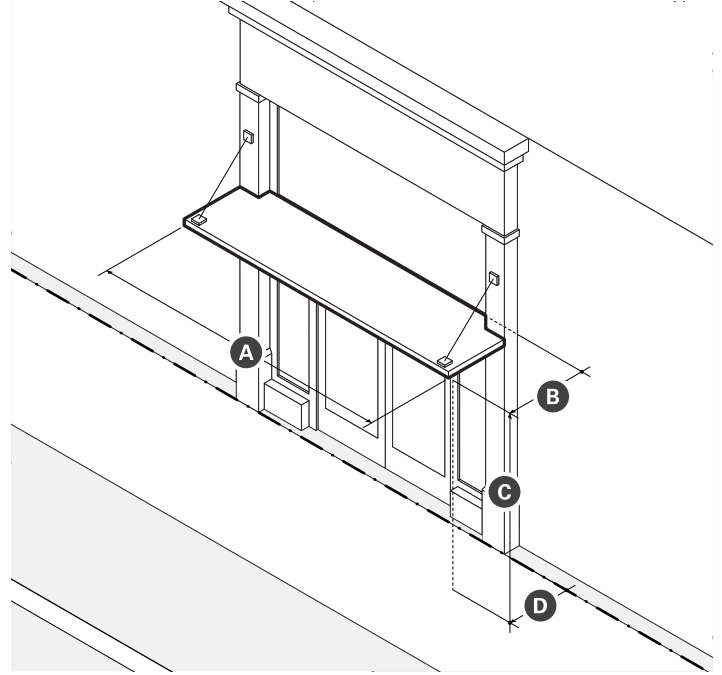


Dimensions	
<b>A</b> Width (min)	See §4.xxx)
<b>B</b> Projection (min)	3 ft
<b>C</b> Clearance (min)	8 ft
Front Setback Encroachment (max)	100%
<b>D</b> Setback from Curb (min)	2 ft
<b>E</b> Valance Height (max)	12 in

- ii. Standards
  - a). Awnings must be securely attached to and supported by the building and must fit the windows or doors the awning is attached to.
  - b). An awning must be made of durable, weather-resistant material that is water repellent.
  - c). Internally illuminated or back-lit awnings are prohibited.
  - d). An awning that projects over the sidewalk of a public thoroughfare requires compliance with all City Ordinances.

## F. Entry Canopy

- i. An entry canopy is a wall-mounted structure that provides shade and weather protection over a storefront or building entrance.

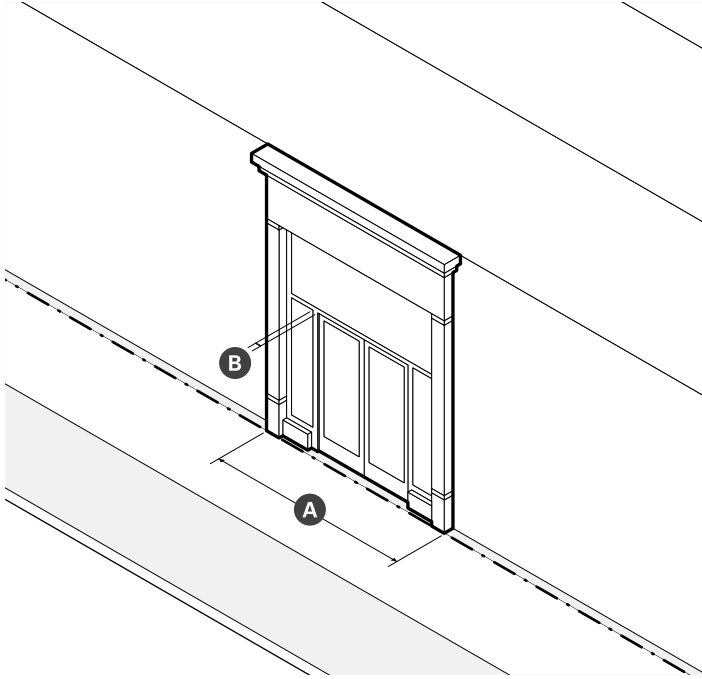


Dimensions	
<b>A</b> Width (min)	See §4.xxx)
<b>B</b> Projection (min)	3 ft
<b>C</b> Clearance (min)	8 ft
<b>D</b> Front Setback Encroachment (max)	100%
Setback from Curb (min)	2 ft

- ii. Standards
  - a). Entry canopies must be visually supported by brackets, cables, or rods.
  - b). The width of an entry canopy must be equal to or greater than the width of the doorway surround or exterior casing it is mounted over.

## G. Lobby Entrance

- i. A lobby entrance is a non-load bearing assembly of entry doors and windows providing access and light to the lobby of a building.

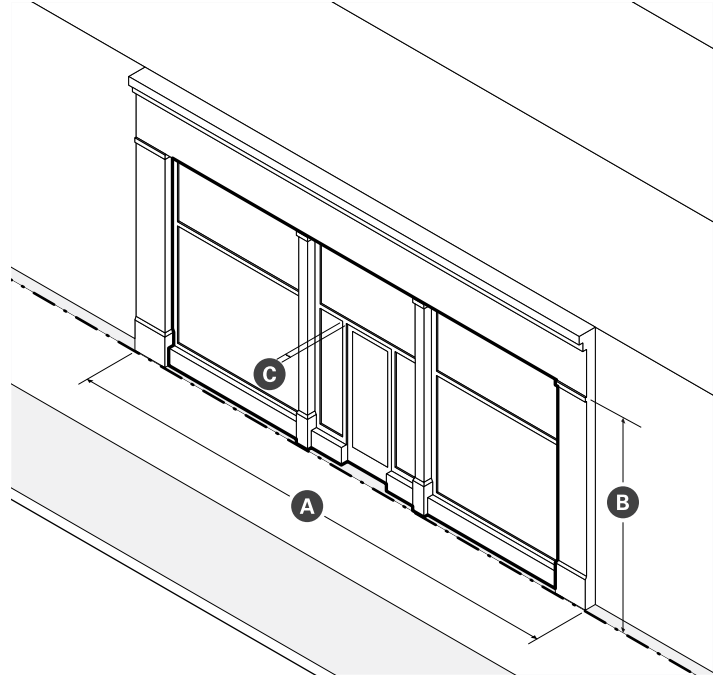


Dimensions	
<b>A</b> Width (max)	30 ft
<b>B</b> Recessed Entrance Width (max)	15 ft
Recessed Entrance Depth (max)	5 ft

- ii. Standards
  - a). When a lobby entrance is setback from the front lot line, the frontage must be paved.

## H. Storefront

- i. A storefront is a non-load bearing assembly of commercial entry doors and substantial windows for the display of goods, services, and signs.



Dimensions	
<b>A</b> Width (max)	30 ft
<b>B</b> Display Window Height (min)	8 ft
<b>C</b> Recessed Entrance Width (max)	15 ft
Recessed Entrance Depth (max)	5 ft

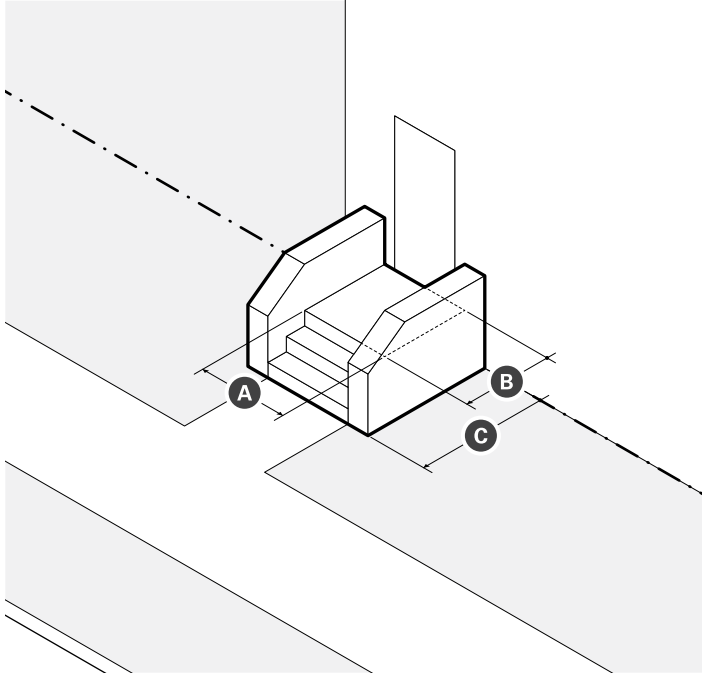
- ii. Standards
  - a). An unobstructed view of the interior space or a lighted and maintained merchandise display(s) must be provided for a depth of at least four (4) feet behind storefront display windows.
  - b). When storefronts are setback from the front lot line, the frontage area must be paved to match the abutting sidewalk.
  - c). When present, awnings and canopies must be mounted between columns, pilasters, or piers; above doorways and display windows; and below the sign band.
  - d). Exterior security grills, gates, and roll-down security doors and windows are prohibited.

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## I. Stoop

- i. A stoop is a set of stairs with a landing leading to the entrance of a building.

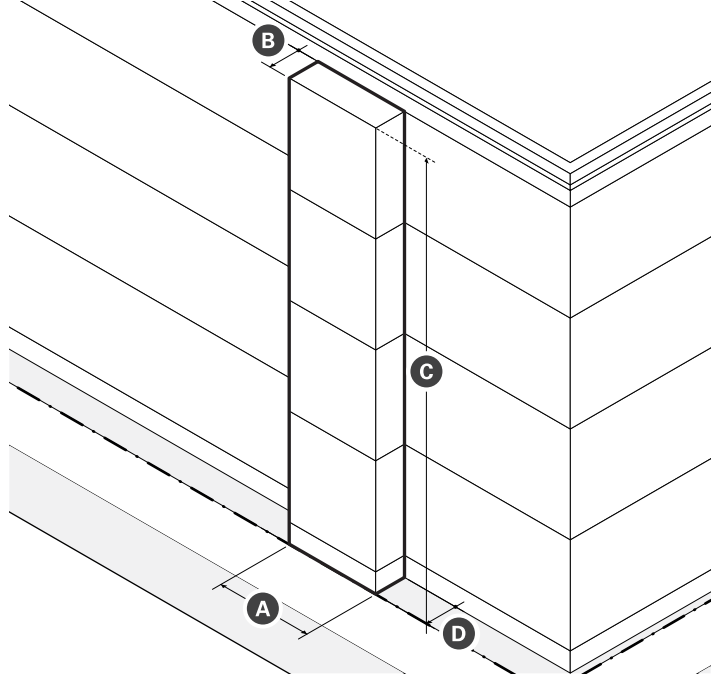


Dimensions	
<b>A</b> Landing Width (min)	4 ft
<b>B</b> Landing Depth (min)	4 ft
<b>C</b> Front Setback Encroachment (max)	100%

- ii. Standards
  - a). Paving, excluding driveways, must match the abutting sidewalk unless paved with pervious, porous, or permeable materials.
  - b). Stairs may be recessed into the building facade when the building is setback four (4) feet or less.
  - c). Stairs are not permitted to encroach onto any abutting sidewalk.
  - d). Stairs may be built perpendicular or parallel to the building facade, but must lead directly to ground level or an abutting sidewalk.

## J. Bay Window

- i. A bay window is an assembly of multiple windows that projects from a building to provide additional habitable space, increased light, multi-directional views, and articulation to an exterior wall.



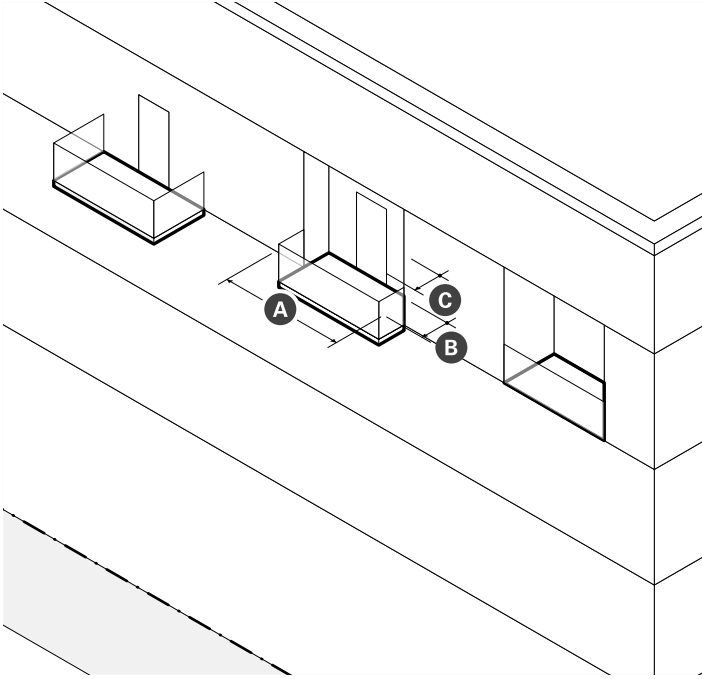
Dimensions	
<b>A</b> Width (max)	16 ft
<b>B</b> Projection (max)	3 ft
<b>C</b> Height (max)	Height of Building in Stories
<b>D</b> Front Setback Encroachment (max)	3 ft
Fenestration (min)	60%

- ii. Standards
  - a). The cumulative width of multiple bays may equal up to fifty percent (50%) of the exterior wall from which the bays project.
  - b). Bays must have a foundation extending all the way to ground level or be visually supported by brackets or other architectural supports.
  - c). Bays projecting over the sidewalk of a public thoroughfare must have at least two (2) stories of clearance and be compliant with all City Ordinances.



## K. Balcony

- i. A balcony is a platform with a railing that provides outdoor amenity space.

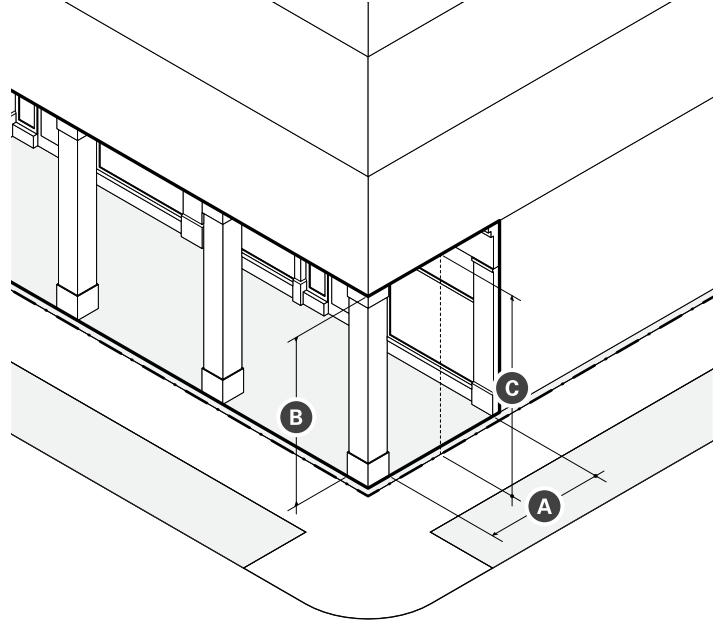


Dimensions	
<b>A</b> Width (min)	5 ft
<b>B</b> Depth (max)	5 ft
<b>D</b> Area (min)	50 ft
Clearance (min)	10 ft
Permitted Front Setback Encroachment (max)	6 ft

- ii. Standards
  - a). Balconies may be recessed, projecting, a combination of the two, or terraced as part of the roof of a portico, porch, or bay.
  - b). A balcony that projects over the sidewalk of a public thoroughfare requires compliance with all City Ordinances.
  - c). The guard rail of any balcony oriented toward a front lot line must permit visual supervision of the public realm through the posts and rails.
  - d). The guard rail of any balcony oriented toward a side or rear lot line abutting the NR district must include sight obscuring visual screening so that it is at least fifty percent (50%) opaque.

## L. Arcade

- i. An arcade is a pedestrian walkway covered by the upper floors of a building. The ground story facade is setback and upper floors are supported by a colonnade or supports.



Dimensions		
<b>A</b> Depth (min/max)	10 ft	15 ft
<b>B</b> Height (max)	1 story	
<b>C</b> Clearance (min/max)	14 ft	24 ft

- ii. Standards
  - a). Arcades must extend the entire width of a building and must have a consistent depth.
  - b). Support columns or piers may be spaced no farther apart than they are tall.
  - c). Arcades are considered part of the building for the purpose of measuring facade build out.
  - d). Arcades may be combined only with storefront and lobby entrance frontages.
  - e). The finished ceiling of an arcade interior may be arched or flat, but must have a greater clearance than the openings between columns or piers.

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 11. Building Design Standards

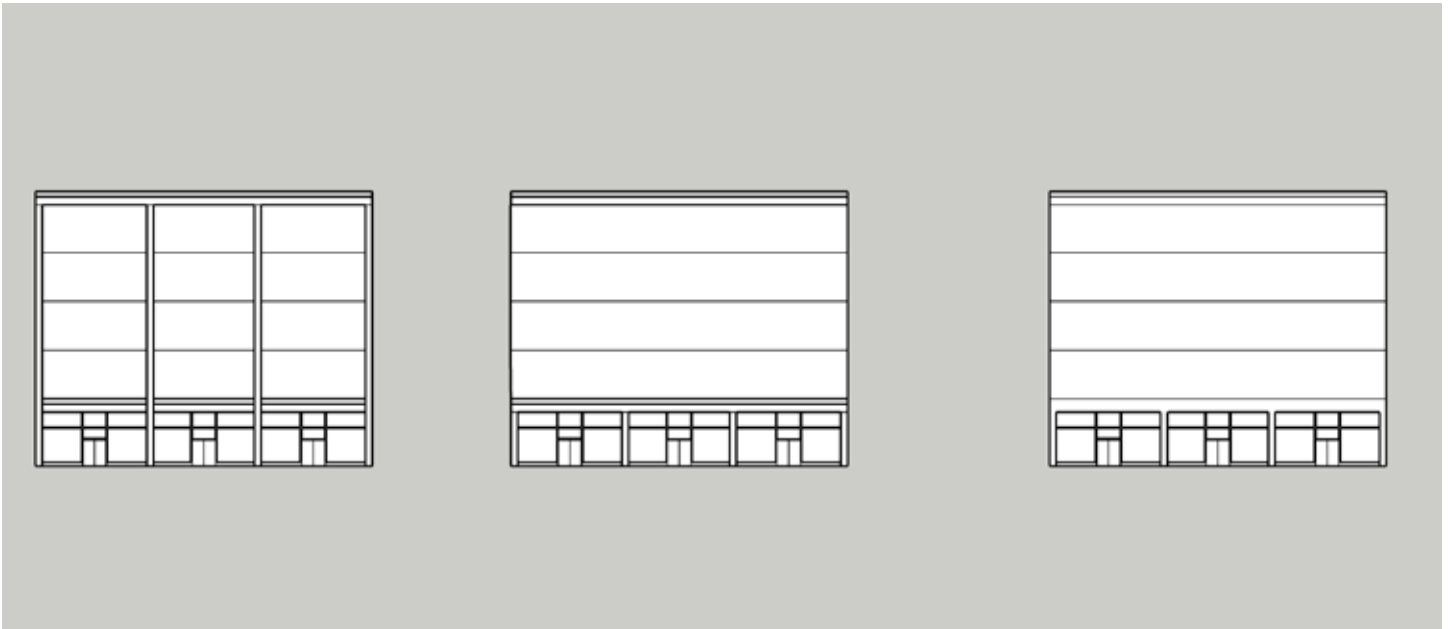
- a. Facade Design
  - i. Building facades must provide a frame for each storefront and lobby entrance of solid wall material designed as one (1) of the following:
    - a). flat wall above and to either side of a punched opening;
    - b). pilasters or columns supporting a continuous horizontal lintel (sign band) and cornice extending across the full width of the building;
    - c). a spandrel (sign band) positioned between pilasters or columns that extend from upper stories of the building to the ground.
  - ii. The required frame may be subsumed and customized into the design for individual storefronts and lobby entrances.
  - iii. Facades must be articulated to create surface relief and shadow lines that add depth to the facade through the use of architectural elements such as balconies, Bays, cladding, columns, corner boards, cornices, door surrounds, moldings, piers, pilasters, seat walls, sills, wall depth, and windows that either recess or project from the average plane of the facade by at least four (4) inches.

## 12. Architectural Design Guidelines

- a. Review Process
  - i. In addition to any official design guidelines adopted by the Review Boards, the Urban Design Commission shall determine if the guidelines of this Section are achieved by the proposed design of a building and provide recommendations to

- further improve the proposed design, as necessary.
- b. Purpose
  - i. To visually break down and minimize a building's apparent height and shorten the perceived length of a building.
  - ii. To provide structure to the composition and disposition of fenestration, enhance pedestrian orientation, and add visual interest to the public realm.
  - iii. To ensure building facades are multi-layered and contribute to a visually-rich pedestrian experience, encourage active public life on abutting sidewalks, and help to protect pedestrians from wind, sun, rain, sleet and snow with awnings or overhangs.
  - iv. To create memorable views that add to the character and enhance the aesthetics of the public realm.
- c. Facade Design
  - i. Facades should be vertically articulated into a series of Architectural Bays no wider than thirty (30) feet.
  - ii. Architectural bays should be derived, in general, from the building's structural bay spacing.
  - iii. Architectural bays should have piers (flat wall), pilasters, or columns that extend either all the way to the ground or to the cornice and sign band of ground level storefronts frames.
  - iv. Architectural bays should align, in general, with individual or groups of storefronts and lobby entrances.
  - v. Facades should be horizontally articulated into a contemporary tripartite division (base, middle,

**FIGURE 4.1 (c) Storefront Frames**



- and top). Exterior finish materials, changes in fenestration patterns, and architectural elements such as moldings, cornices, balconies, bay windows, porches, and canopies should be used to differentiate the base, middle, and top.
- vi. In most circumstances, the vertical piers (flat wall), pilasters, and columns that define Architectural Bays should always project forward and be uninterrupted by any horizontal elements of a facade, excluding any horizontal molding, cornice, or other architectural element(s) used to differentiate the tripartite division of the façade.
  - vii. Within the divisions of a facade, fenestration should align vertically within each Architectural Bay and horizontally across each story of a building.
  - viii. Upper stories should have a window to wall area proportion that is lower than that of the ground floor.
  - ix. Windows should be punched into walls with glass inset from exterior wall surfaces.
  - x. The variety of window and door sizes and proportions should be limited.
  - xi. Series of windows set side by side to form a continuous horizontal band across a facade (aka 'ribbon windows') should be avoided.
  - xii. Vents, exhausts, and other utility features on building facades should be architecturally integrated into the design of the building. Ventilation intakes/exhausts should be located to minimize adverse effects on pedestrian comfort along sidewalks and within outdoor spaces.
  - xiii. Buildings at Terminated Vistas should be articulated with design features that function as focal points.
- d. Facade Bases
- i. The base of a facade should have projecting piers, pilasters, or columns; slightly recessed storefronts; ledges, or other architectural element(s) that provide opportunities for pedestrian-oriented activities such as vending, resting, sitting, dining, or visiting along the ground floor.
  - ii. Monotonous and repetitive storefront or lobby systems, sign types, sign designs, and sign lighting should be avoided.
  - iii. Storefront doors should not obstruct pedestrians walking past or alongside a building.
  - iv. Storefronts and lobby entrances should include awnings and canopies to provide weather protection for pedestrians and reduce glare for storefront display areas. Awnings should be open-ended and operable.
  - v. Façade lighting should encourage pedestrian activity at night through layers of light that contribute to the nighttime experience.
  - vi. Lobby entrances for upper story uses should be optimally located, well defined, clearly visible, and separate from the entrance for any other ground floor uses.
- vii. Ground floor lobby spaces should be limited in total area and width to preserve floor space and frontage for other ground floor uses. Buildings should use façade articulation, a double-height ceiling, distinctive doorway, change in wall material, change in paving material within the setback area, or some other architectural element(s) to make lobbies distinctive.
- e. Roofs
- i. Mechanical and utility equipment should be integrated into the architectural design of the building or screened from public view. Penthouses should be integrated with the buildings architectural design and not appear as foreign structures unrelated to the rest of the building.
- f. Materials
- i. The selection of materials, fenestration, and ornamentation should result in a consistent and harmonious composition that appears as a unified whole rather than a collection of unrelated parts, whatever the style.
  - ii. The type and color of materials used for a building should be kept to a minimum, preferably three (3) or less.
  - iii. Two (2) or more wall materials should be combined only one above the other.
  - iv. Wall materials appearing heavier in weight should be used below wall materials appearing lighter in weight (wood and metal above brick, and both above stone)
  - v. Horizontal or vertical board siding and shingles, whether wood, metal, plastic (vinyl), masonry, or composite materials, should be used only for smaller scale apartment buildings.
  - vi. Architectural details and finish materials for the base of a building should be constructed of architectural concrete or pre-cast cementitious panels, natural or cast stone, heavy gage metal panel, glazed or unglazed architectural terracotta, and brick.
  - vii. Exterior Insulation and Finish Systems (EIFS) should never be used for the base of a building.

## 4. MID-RISE DISTRICTS

### Mid-Rise 5 (MR5)

#### 13. Use Provisions

- a. General
  - i. The use of real property is subject to the provisions of Article 9: Use Provisions of this Ordinance. Where the provisions of this section conflict with those of Article 9, the provisions of Article 9 apply.
  - ii. Uses are permitted as specified on Table 4.1 (c). Use categories not expressly authorized are prohibited.
  - iii. All uses must comply with any use-specific standards applicable for each use in §9.2 Use Definitions & Limitations.
  - iv. Uses permitted by Special Permit require additional development review in accordance with §15.2.1 Special Permits.
- b. Use Limitations
  - i. The use of any ground story commercial space fronting a pedestrian street, excluding lobbies for upper story uses, is limited to the following principal use categories:
    - a). Arts & Creative Enterprise
    - b). Eating & Drinking Establishment
    - c). Retail
    - d). Civic & Institutional
- c. Required Uses
  - i. A minimum of five percent (5%) of the gross leasable commercial floor space in any building must be provided as leasable floor area for uses from the Arts & Creative Enterprise use category.
- d. Increases in Density
  - i. Existing structures may not be altered to conflict with number of dwelling units permitted for each building type.

**TABLE 4.3 (c) MR5 Permitted Uses**

Use Category Specific Use	MR5	Use Specific Standards
<b>Arts &amp; Creative Enterprise</b>		
Artisan Production	P	§9.2.2.a
Arts Exhibition	P	§9.2.2.b
Arts Sales & Services	P	§9.2.2.c
Co-working	P	§9.2.2.d
Design Services	P	§9.2.2.e
Shared Workspaces & Arts Education	P	§9.2.2.f
<b>Civic &amp; Institutional</b>		
Community Center	P	§9.2.4.a
Hospital	SP	§9.2.4.b
Library	P	§9.2.4.c
Minor Utility Facility	SP	§9.2.4.d
Museum	P	§9.2.4.f
Private Non-Profit Club or Lodge	SP	§9.2.4.g
Public Service	P	§9.2.4.h
Religious & Educational Uses Protected by M.G.L. 40A. Sec. 3	P	§9.2.4.i
<b>Commercial Services</b>		
Animal Services (as noted below)	--	§9.2.5.a
Pet Grooming	P	§9.2.5.a.ii
Veterinarian	SP	§9.2.5.a.iv
Assembly & Entertainment	SP	§9.2.5.b
Banking & Financial Services (except as noted below)	P	§9.2.5.c
Personal Credit	SP	§9.2.5.c.i
Broadcast and/or Recording Studio	P	§9.2.5.d
Building & Home Repair Services	SP	§9.2.5.e
Business Support Services	P	§9.2.5.f
Caterer/Wholesale Food Production	SP	§9.2.5.g
Day Care Service (as noted below)	--	§9.2.5.h
Adult Day Care Center	P	§9.2.5.h.i
Child Day Care Center	P	§9.2.5.h.ii
Educational Institution	P	§9.2.5.i
Maintenance & Repair of Consumer Goods	P	§9.2.5.j
Personal Services (except as noted below)	P	§9.2.5.k
Body-Art Establishment	SP	§9.2.5.k.i
Gym or Health Club	P	§9.2.5.k.ii

P - Permitted      SP - Special Permit Required      N - Not Permitted

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

**TABLE 4.3 (c) MR5 Permitted Uses (continued)**

Use Category Specific Use	MR5	Use Specific Standards
Funeral Home	SP	§9.2.5.k.iii
Health Care Provider	SP	§9.2.5.k.iv
<b>Recreation Facility</b>	SP	§9.2.5.l
<b>Vehicle Parking (except as follows)</b>	--	§9.2.5.m
Bike Share Parking	P	§9.2.5.m.i
Car Share Parking (3 or less spaces)	P	§9.2.5.m.ii
Car Share Parking (4 or more spaces)	P	§9.2.5.m.ii
Commercial Parking	P	§9.2.5.m.iii
<b>Eating and Drinking</b>		
Bar/Restaurant/Tavern	P	§9.2.6.a
Bakery/Café/Coffee Shop	P	§9.2.6.b
Formula Eating & Drinking Establishment	SP	§9.2.6.c
<b>Lodging</b>		
Bed & Breakfast	SP	§9.2.8.a
Hotel or Hostel	SP	§9.2.8.b
<b>Office</b>		
General Office	P	§9.2.9.a
Research and Development and/or Laboratory	P	§9.2.9.b
<b>Residential</b>		
Household Living	SP	§9.2.10.a
<b>Group Living (except as follows)</b>	SP	§9.2.10.b
Community or Group Residence	P	§9.2.10.b.i
Dormitory, Fraternity or Sorority	SP	§9.2.10.b.ii
Homeless Shelter	SP	§9.2.10.b.iii
Nursing Home/Assisted Living Facility	SP	§9.2.10.b.iv
Rooming House	SP	§9.2.10.b.v
<b>Retail Sales</b>		
Building/Home Supplies & Equipment	SP	§9.2.11.a
<b>Consumer Goods (except as follows)</b>	P	§9.2.11.b
Alcohol Sales	SP	§9.2.11.b.i
Drug Paraphernalia Store	N	§9.2.11.b.ii
Firearms Sales	N	§9.2.11.b.iii
Pet Store	SP	§9.2.11.b.v
Formula Retail	SP	§9.2.11.c
Fresh Food Market or Grocery Store	P	§9.2.11.d

P - Permitted      SP - Special Permit Required      N - Not Permitted

**TABLE 4.3 (c) MR5 Permitted Uses (continued)**

Use Category Specific Use	MR5	Use Specific Standards
Farm/Vendor Market	P	§9.2.11.e
<b>Urban Agriculture</b>		
Farming (as noted below)	--	§9.2.12.a
Commercial Farm	P	§9.2.12.a.i
Community Farm	P	§9.2.12.a.ii
Community Gardening	P	§9.2.12.b
<b>Accessory Uses</b>		
Home Occupations (as noted below)	--	§9.2.13.c
Home Office	P	§9.2.12.c.vi
Urban Agriculture (as noted below)	--	§9.2.13.d
Apiculture	P	§9.2.13.d.i
Aviculture	P	§9.2.13.d.ii
Commercial Farming	P	§9.2.13.d.iii
Residential Gardening	P	§9.2.13.d.iv
Vehicle Parking, Accessory	P	§9.2.13.e
Home Business Vehicle Parking	N	§9.2.13.e.i

P - Permitted      SP - Special Permit Required      N - Not Permitted

## 4. MID-RISE DISTRICTS

### Mid-Rise 5 (MR5)

#### 14. Development Standards

- a. General
  - i. Development is subject the provisions of Article 10 Site Development of this Ordinance. Where the provisions of this section conflict with those of Article 10, the provisions of Article 10 apply.
- b. Signs
  - i. A sign, individual numerals or letters, or a nonelectrical nameplate identifying the property address is required for all real property as follows:
    - a). Each ground story non-residential use must identify the street address either on the principal entrance door or above or beside the principal entrance of the use.
    - b). All residential building types must identify the street address either on the principal entrance door, above or beside the principal entrance, or on a mailbox.
  - ii. Address signs must be made easily visible through the use of colors or materials that contrast with the background material they are attached to and must be conspicuously located to provide visibility from the thoroughfare that the building faces.
  - iii. Address signs must be twelve (12) inches in height or less and may include the name of the occupant.
- i. New driveways require a permit from the City Engineer.
- ii. Driveways must be compliant with all City Ordinances and constructed in accordance with all standards established by relevant City departments.
- iii. Driveways are not permitted in the frontage area between a building and the front lot line.
- iv. Driveways may be no wider than twenty four (24) feet in the frontage area of a lot.
- v. Driveways may provide access in whole or in part on or across an abutting lot(s), provided that an access easement exists between all property owners.
- d. Parking Design
  - i. The design of all parking is subject to §11.1 Bicycle Parking and §11.2 Motor Vehicle Parking of this Ordinance.
- e. Parking Location
  - i. Required vehicular parking, excluding any required handicapped parking, may be provided on a contiguous lot under the same ownership as the lot that the parking will serve as follows:
    - a). Pedestrian access to off-site vehicular parking must be via a paved sidewalk or walkway.
    - b). A lease, recorded covenant, or other comparable legal instrument guaranteeing long term use of the site must be provided to the review board or building official and executed and filed with the Registry of Deeds.
  - ii. For real property located in more than one municipality, motor vehicle parking need not be located within the City of Somerville.

#### 15. Parking & Mobility

- a. General
  - i. Development is subject the provisions of Article 11 Parking & Mobility of this Ordinance. Where the provisions of this section conflict with those of Article 11, the provisions of Article 11 apply.
  - ii. Vehicular parking must be provided as specified on Table 4.1 (d), except as follows:
    - a). Non-residential uses with five thousand (5,000) square feet or less of gross leasable floor area are exempt from any minimum requirements of Table 4.1. (d).
    - b). Any change in use within a non-residential structure constructed before the effective date of this Ordinance, provided that the change is to a permitted use, is exempt from any minimum requirements of Table 4.1 (d).
  - iii. There are no parking requirements for accessory uses.
  - iv. Motor vehicle parking spaces may be shared between uses on the same lot and buildings on the same block in accordance with §11.3 Shared Parking.
- b. Type
  - i. Motor vehicle parking may be provided as above ground structured parking or underground structured parking. Surface parking is prohibited.
- c. Driveways
  - i. Relief from the parking standards of Table 4.3 (d) requires a Special Permit.
    - a). In its discretion to approve or deny a special permit authorizing relief from the parking standards of Table 4.3 (d), the review board shall consider, at least, the following:
      - i). The supply and demand of on-street parking in the neighborhood, as determined through a parking study.
      - ii). Mobility management programs and services provided by the applicant to reduce the demand for parking.
- f. Unbundled Parking
  - i. Motor vehicle parking spaces must be rented or leased as an option rather than a requirement of the rental, lease, or purchase of a dwelling unit or non-residential floor space.
  - ii. Bicycle parking must be provided at no cost or fee to customers, visitors, employees, tenants, and residents.
- g. Parking Relief
  - i. Relief from the parking standards of Table 4.3 (d) requires a Special Permit.
    - a). In its discretion to approve or deny a special permit authorizing relief from the parking standards of Table 4.3 (d), the review board shall consider, at least, the following:
      - i). The supply and demand of on-street parking in the neighborhood, as determined through a parking study.
      - ii). Mobility management programs and services provided by the applicant to reduce the demand for parking.



**TABLE 4.3 (d) Vehicular Parking**

\*See Transit Orientation Map for distance to a Transit Station

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area (max)	Outside of a Transit Area (min)
<b>Arts &amp; Creative Enterprise</b>				
All Permitted Uses	1 / 10,000 sf	1 / 3,000 sf	1 / 800 sf	1 / 1,000 sf
<b>Civic &amp; Institutional</b>				
Community Center	1 / 10,000 sf	4 / 10,000 sf	1 / 1,800 sf	1 / 600 sf
Educational Facility	1.0 / classroom	4.0 / classroom	1.5 / classroom	3.0 / classroom
Hospital	10 per entrance	1 / 5,000 sf	1 / 200 sf	1 / 1,000 sf
Library	1 / 3,000 sf	1 / 5,000 sf	1 / 800 sf	1 / 500 sf
Minor Utility Facility	n/a	n/a	n/a	n/a
Museum	1 / 2,000 sf	1 / 10,000 sf	1 / 800 sf	1 / 500 sf
Private Non-Profit Club or Lodge	1 / 2,000 sf	1 / 10,000 sf	1 / 200 sf	1 / 1,000 sf
<b>Commercial Services</b>				
Animal Services (as noted below)	1 / 2,500 sf	1 / 10,000 sf	–	–
Pet Grooming	–	–	1 / 500 sf	1 / 400 sf
Veterinarian	1 / 2,000 sf	1 / 5,000 sf	1 / 500 sf	1 / 500 sf
Assembly & Entertainment	1 / 40 seats	1 / 10,000 sf	1 / 6 seats	1 / 6 seats
Banking & Financial Services (except as noted below)	1 / 2,000 sf	1 / 10,000 sf	1 / 450 sf	1 / 400 sf
Broadcast and/or Recording Studio	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 600 sf
Building & Home Repair Services	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 2,000 sf
Business Support Services	1 / 2,500 sf	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Caterer/Wholesale Food Production	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 1,000 sf
Day Care Service	2	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Maintenance & Repair of Consumer Goods	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Personal Services (except as noted below)	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Gym or Health Club	–	–	1 / 200 sf	1 / 500 sf
Funeral Home	–	–	–	–
Health Care Provider	1 / 2,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 300 sf
Recreation Facility	1 / 2,500 sf	1 / 10,000 sf	–	–

sf - Gross Leasable Square Footage

DU - Dwelling Unit

RU - Rooming Unit

# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

**TABLE 4.3 (d) Vehicular Parking (continued)**

\*See Transit Orientation Map for distance to a Transit Station

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area (max)	Outside of a Transit Area (min)
<b>Eating and Drinking</b>				
Bar/Restaurant/Tavern	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
Bakery/Café/Coffee Shop	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
Formula Eating & Drinking Establishment	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
<b>Lodging</b>				
Bed & Breakfast	1 / 20 rooms	1 / 10 rooms	1 / DU + 1 / 4 guest rooms	1 / DU + 1 / 4 guest rooms
Hotel or Hostel	1 / 20 rooms	1 / 10 rooms	1 / 2 guest rooms	1 / 2 guest rooms
Short Term Rental	1 / 20 rooms	1 / 10 rooms	n/a	n/a
<b>Office</b>				
Co-Working	1 / 20,000 sf	1 / 3,000 sf	1 / 1,200 sf	1 / 800 sf
General Office	1 / 20,000 sf	1 / 3,000 sf	1 / 900 sf	1 / 650 sf
Research and Development and/or Laboratory	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
<b>Residential</b>				
Household Living	0.1 / DU	1.0 / DU	1.0 / DU	1.0 / DU
Group Living (except as follows)	0.05 / room	0.5 / room	–	–
Community or Group Residence	–	–	–	–
Dormitory, Fraternity or Sorority	0.1 / room	0.5 / room	.05 / bed	1.0 / 4 beds
Homeless Shelter	–	–	4.0	4.0
Nursing Home/Assisted Living Facility	–	–	1 / 6 beds	1 / 6 beds
Single Room Occupancy Housing	–	–	1 / 6 beds	1 / 4 beds
<b>Retail Sales</b>				
Building/Home Supplies & Equipment	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 1,000 sf
Consumer Goods (except as follows)	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Formula Retail	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Fresh Food Market or Grocery Store	1 / 1,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 1,500 sf
Farm/Vendor Market	n/a	n/a	n/a	1 / 1,500 sf

sf - Gross Leasable Square Footage

DU - Dwelling Unit

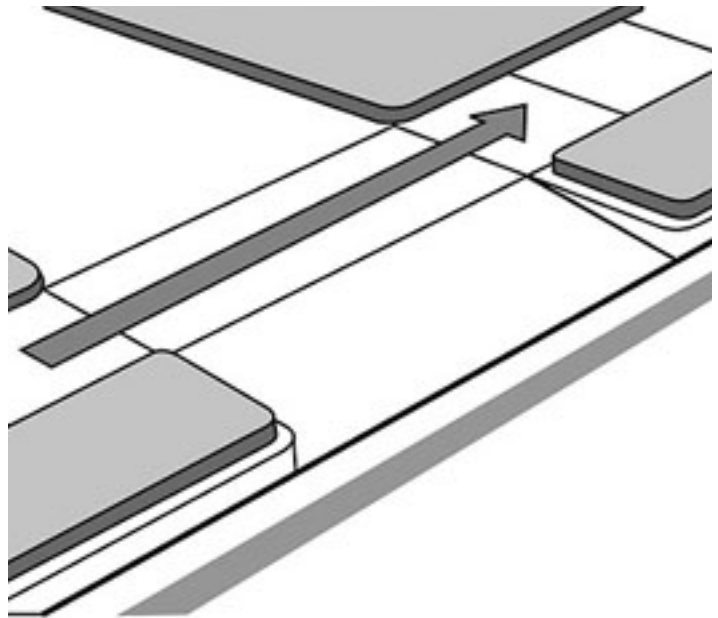
RU - Rooming Unit

- iii). That parking provided in excess of any maximum permitted does not result in the increase in impervious lot area.

## 16. Public Realm

- a. Pedestrian Circulation
  - i. When development occurs on any lot abutting a sidewalk that is less than twelve (12) feet in total width, the building must be setback an additional distance to accommodate expansion of the abutting sidewalk to a width of at least twelve (12) feet. The minimum and maximum front setbacks for each building type are increased accordingly.
- b. Sidewalk Curb Cuts
  - i. A curb cut requires a permit from the City Engineer and must be compliant with all City Ordinances.
  - ii. Unless otherwise specified, the City Engineer may not permit more than one (1) curb cut per front lot line of a lot.
  - iii. Curb cuts are prohibited for all thoroughfares designated as a pedestrian street
  - iv. Curb cuts must be located to minimize conflicts with pedestrians and bicyclists and must have a clear distance from fire hydrants, street trees, utility poles, and other furnishings as deemed necessary by the City Engineer.
    - a). Curb cuts for commercial or high-volume driveways should be at least one-hundred (100) feet from an unsignalized or signalized intersection.
    - b). Curb cuts for residential driveways should be at least twenty (20) feet from an unsignalized intersection and at least forty (40) feet from a signalized intersection.
  - v. The interior width of a curb cut (between curb stones) may be no wider than the driveway, vehicular entrance, or loading facility it serves.
  - vi. A driveway apron may be installed only within the furnishing zone of a sidewalk and must be constructed in accordance with all standards established by relevant City departments.
  - vii. The grade, cross slope, and clear width of the walkway of a sidewalk must be maintained between the driveway apron and the abutting driveway. The appearance of the walkway (ie. scoring pattern or paving material) must indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.

**FIGURE X.X (x) Sidewalk Curb Cuts**



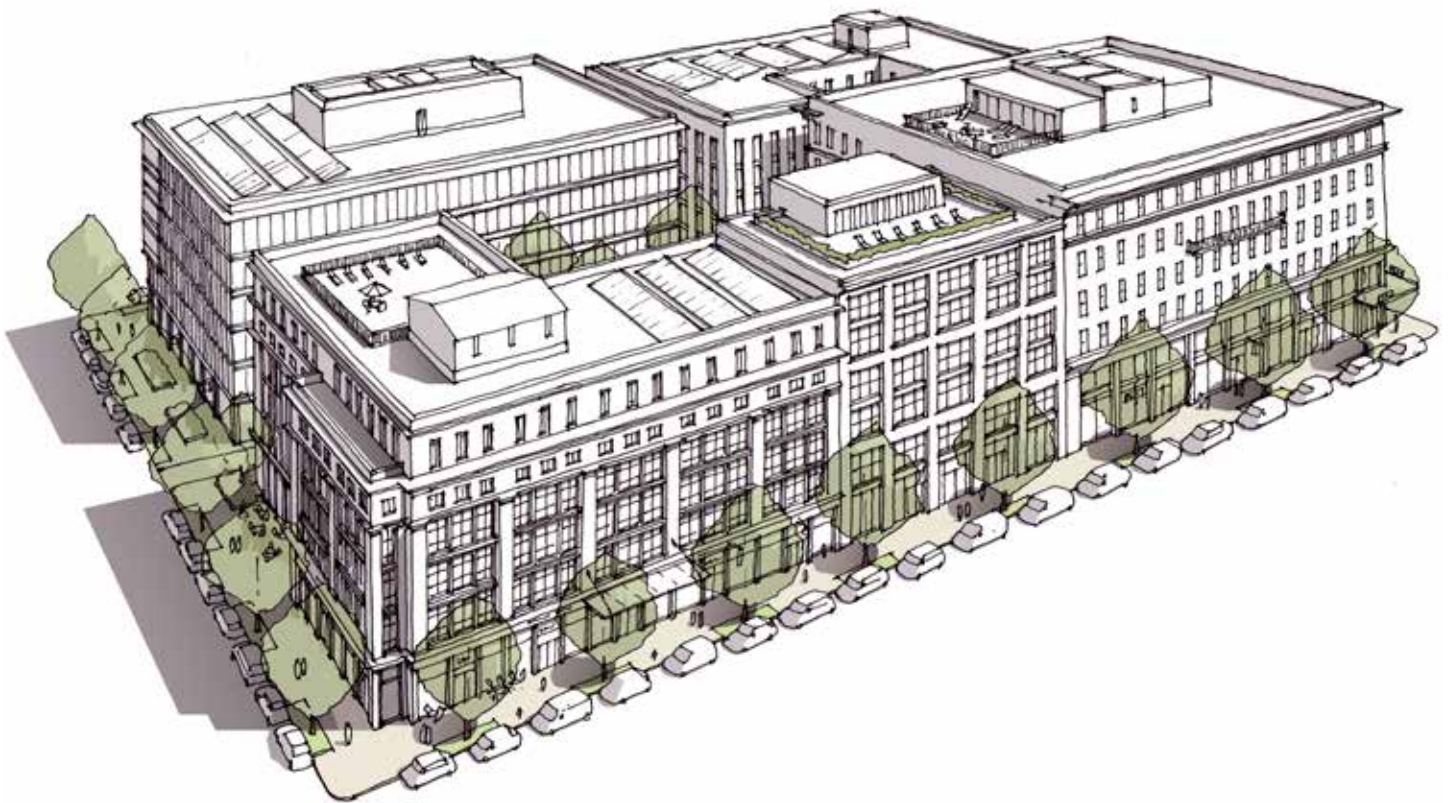
# 4. MID-RISE DISTRICTS

Mid-Rise 5 (MR5)

## 4.4 MID-RISE 6 (MR6)

### 1. Character Description

The Mid-Rise 6 district is characterized by a variety of moderate to large floor plate buildings up to six (6) stories in height. Buildings are set close to the sidewalk to create a defined street wall that supports pedestrian activity and a sense of place. The district is primarily commercial, with a variety of employment opportunities and ground floor uses that address the needs of residents and employees from the immediate neighborhood, but can also provide goods and services to the larger Somerville community and visitors from the broader Boston metropolitan area.



## 4. MID-RISE DISTRICTS

### Mid-Rise 6 (MR6)

#### 2. Intent

- a. To implement the Urban Mixed Use context from the Future Land Context Map of SomerVision.
- b. To accommodate the development of areas appropriate for moderately-scaled multi-unit, mixed-use, and commercial buildings; neighborhood-, community-, and region-serving uses; and a wide variety of employment opportunities.

#### 3. Purpose

- a. To permit the development of multi-unit, mixed-use, and commercial buildings that do not exceed six (6) stories in height.
- b. To provide quality commercial spaces and permit small and medium-scale, neighborhood-, community-, and region-serving commercial uses.
- c. To provide upper story residential unit types, sizes, bedroom counts, and affordability for smaller households.

#### 4. Applicability

- a. The section is applicable to all real property within the Mid-Rise 6 district as shown on the maps of the Official Zoning Atlas of the City of Somerville.

#### 5. Development Review

- a. All development, excluding normal maintenance, requires the submittal of a development review application to the Building Official and the issuance of a Certificate of Zoning Compliance prior to the issuance of a Building Permit or Certificate of Occupancy.
- b. Proposed development may or may not necessitate the need for Site Plan Approval, a Special Permit, or a Variance based on the nature of the proposal. In such cases, additional development review is required in accordance with Article 15: Administration.
  - i. The Planning Board is the decision making authority for all development that requires Site Plan Approval or a Special Permit.
  - ii. The Zoning Board of Appeals is the Review Board for all Variances.
- c. Upon verification that no additional development review is necessary or completion of the required development review, a Zoning Compliance Certificate shall be issued by the Building Official to certify compliance with the provisions and procedures of this Ordinance.

#### 6. Building Types

- a. One (1) principal building type may be built on each lot.
- b. The following building types are permitted by Site Plan Approval in the Mid-Rise 6 district:
  - i. Apartment Building
  - ii. General Building
  - iii. Commercial Building
  - iv. Lab Building
- c. Apartment Buildings are prohibited on any lot fronting a pedestrian street.
- d. Accessory structures are regulated according to Article 10: Development Standards of this Ordinance.

## 7. Apartment Building

A moderate floorplate, multi-story building type limited to residential uses on all stories.

The following images are examples of the apartment building type and are intended only for illustrative purposes.

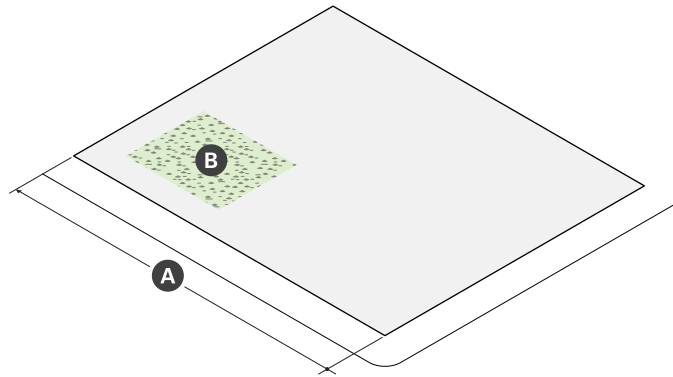


# 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

## 7. Apartment Building (continued)

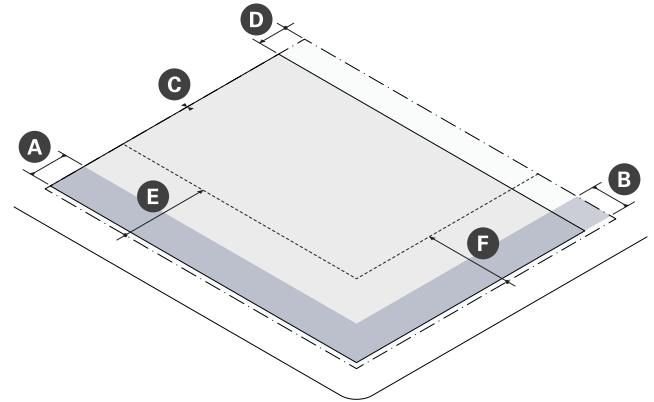
a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	100%
<b>C</b> Green Score	--
Minimum	0.20
Ideal	0.25

b. Building Placement



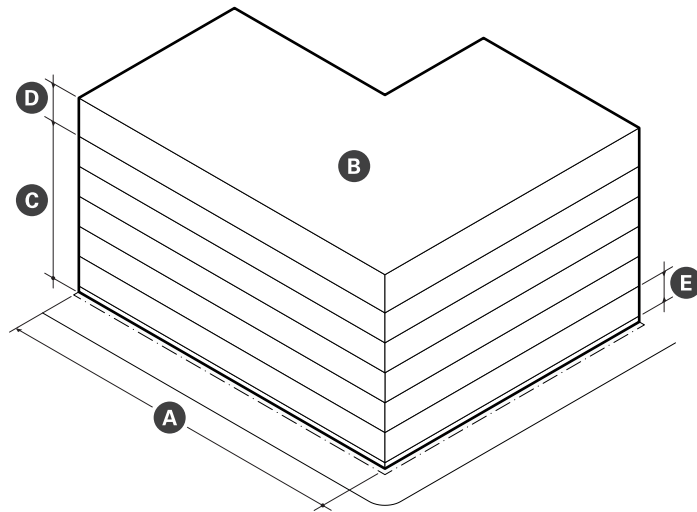
Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	12 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	12 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

Parking Setbacks	
<b>E</b> Primary Front Setback (min)	--
Surface Parking	30 ft
Structured Parking	30 ft
<b>F</b> Secondary Front Setback (min)	--
Surface Parking	10 ft
Structured Parking	2 ft



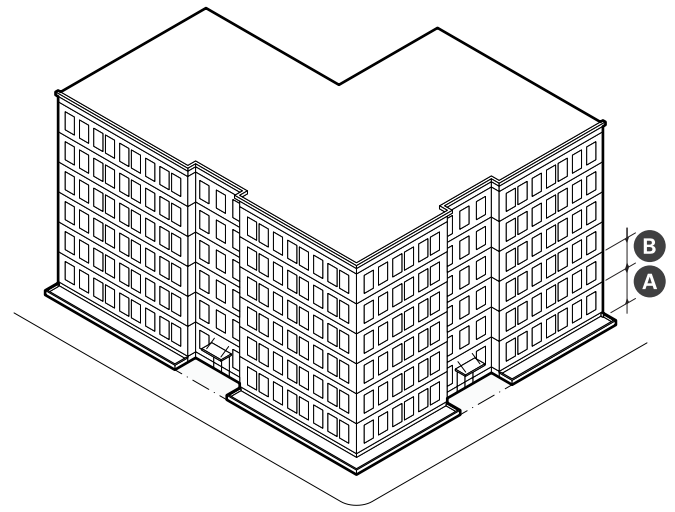
## 7. Apartment Building (continued)

### c. Massing & Height



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	25,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	6 stories
Upper Story Step-Back (min)	--
Primary/Secondary Front	10 ft
Side/Rear Abutting NR	30 ft
<b>E</b> Story Height (min)	10 ft
Ground Story Elevation (min)	2 ft
Building Height, Feet	70 ft
Roof Type	Flat

### d. Uses & Features



Facade Composition	
<b>A</b> Ground Story Fenestration (min/max)	20% 50%
<b>B</b> Upper Story Fenestration (min/max)	20% 50%
Blank Wall (max)	20 ft

Use & Occupancy	
<b>Gross Floor Area per DU</b>	--
Lot Area < 6,500 sf	1,125
Lot Area >= 6,500 sf	850
Sustainable Building	650
100% Affordable Housing	650
Outdoor Amenity Space (min)	1/DU

## 4. MID-RISE DISTRICTS

### Mid-Rise 6 (MR6)

- e. Housing
  - i. An apartment building with six (6) or more dwelling units, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.
- f. Design Guidelines
  - i. Ground story dwelling units should be elevated above the grade of any adjacent sidewalk so that the window sills of dwelling unit are at or above the eye-level of passing pedestrians. This elevation change maintains privacy for occupants while also encouraging open blinds or curtains to allow natural daylight into the unit.
  - ii. Fenestration patterns and window configurations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
  - iii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.

## 8. General Building

A moderate floor plate, multi-story building type with ground floor commercial uses no limitations or restrictions on upper stories for permitted uses. The upper stories of a general building are typically residential, but a large variety exists. As the number of stories increases, it becomes more likely for the upper stories of a general building to host commercial uses as well as residential.

The following images are examples of the general building type and are intended only for illustrative purposes.

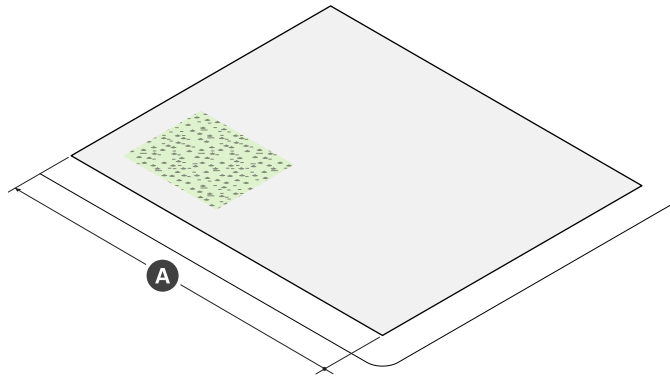


# 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

## 8. General Building (continued)

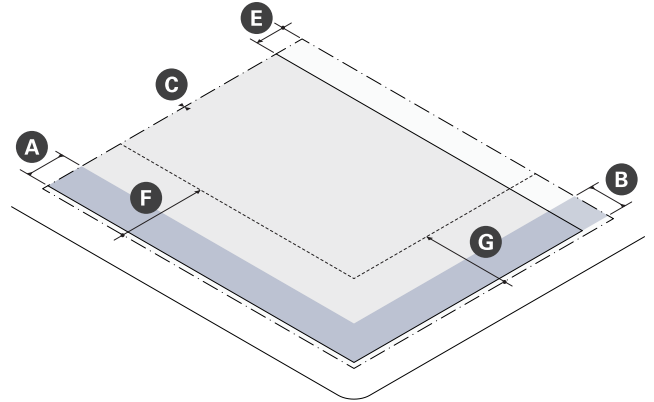
### a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	100%
<b>C</b> Green Score	--
Minimum	0.20
Ideal	0.25

### b. Building Placement

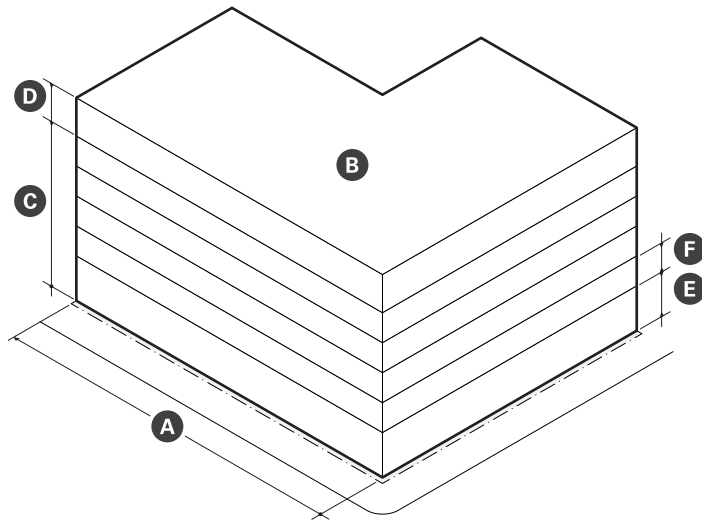


Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	15 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	15 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

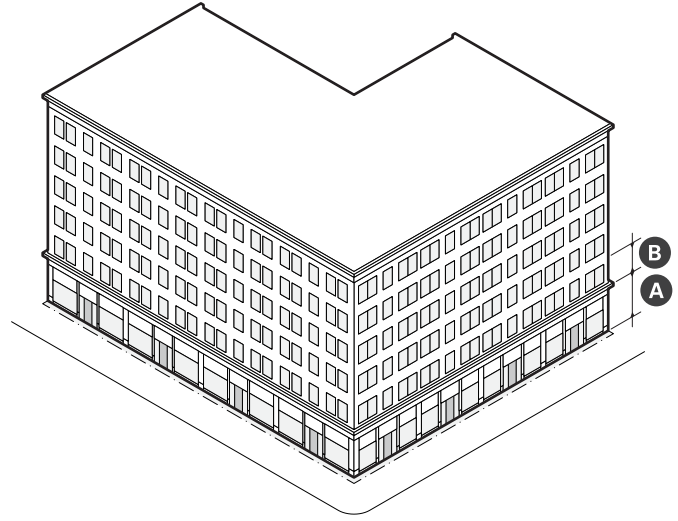
Parking Setbacks	
<b>E</b> Primary Front Setback (min)	30 ft
<b>F</b> Secondary Front Setback (min)	30 ft

## 8. General Building (continued)

c. Massing & Height



d. Uses & Features



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	30,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	6 stories
Upper Story Step-Back (min)	--
Primary/Secondary Front	10 ft
Side/Rear Abutting NR	30 ft
<b>E</b> Ground Story Height	14 ft
<b>F</b> Upper Story Height	10 ft
Building Height, Feet (max)	75 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min)	70%
<b>B</b> Upper Story Fenestration (min/max)	20% 50%
Blank Wall (max)	20 ft

Use & Occupancy	
Ground Story Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft
<b>Gross Floor Area per DU</b>	--
Lot Area < 6,500 sf	1,125
Lot Area >= 6,500 sf	850
Net Zero Building	650
100% Affordable Housing	650
Outdoor Amenity Space (min)	1/DU

## 4. MID-RISE DISTRICTS

### Mid-Rise 6 (MR6)

- e. Housing
  - i. A general building with six (6) or more dwelling units, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.
- f. Design Guidelines
  - i. Fenestration patterns and window configurations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
  - ii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.

## 9. Commercial Building

A moderate floor plate, multi-story building type limited to commercial uses on all stories.

The following images are examples of the commercial building type and are intended only for illustrative purposes.

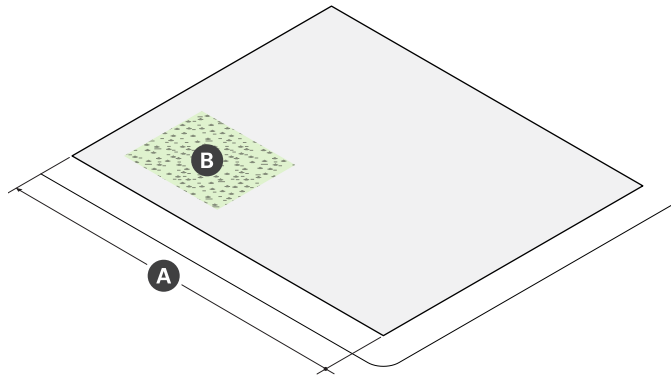


# 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

## 9. Commercial Building (continued)

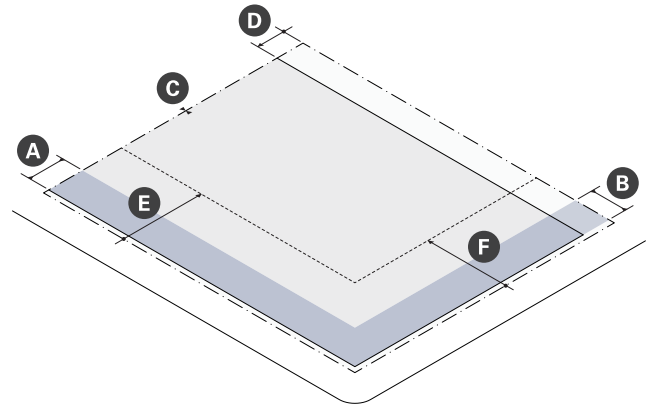
### a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	100%
<b>C</b> Green Score	--
Minimum	0.20
Ideal	0.25

### b. Building Placement



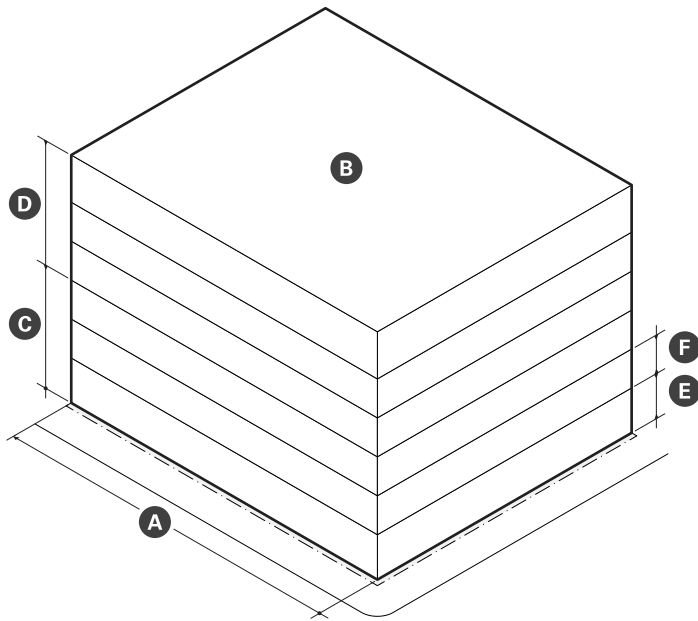
Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	15 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	15 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

Parking Setbacks	
<b>E</b> Primary Front Setback (min)	30 ft
<b>F</b> Secondary Front Setback (min)	30 ft



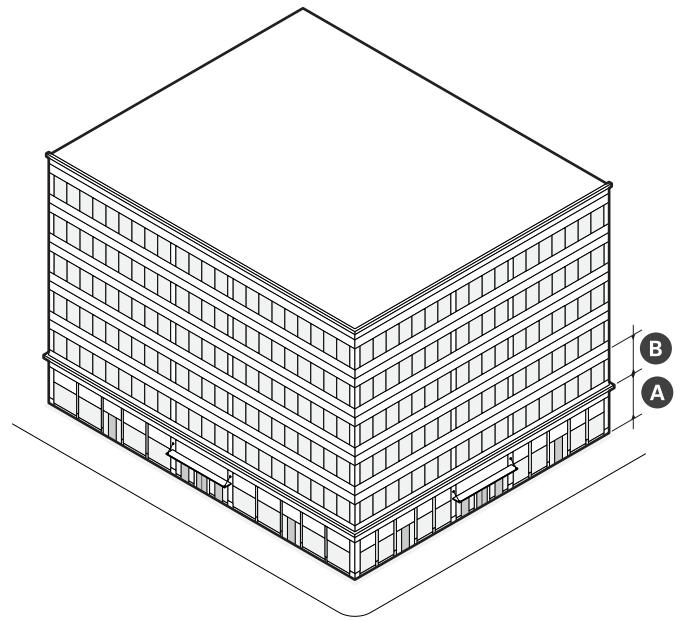
## 9. Commercial Building (continued)

### c. Massing & Height



Main Body	
<b>A</b> Building Width (max)	200 ft
Facade Build Out (min)	--
Front Street	80%
Side Street	65%
<b>B</b> Floor Plate (max)	30,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	6 stories
Upper Story Step-Back (min)	--
Primary/Secondary Front	10 ft
Side/Rear Abutting NR	30 ft
<b>E</b> Ground Story Height	14 ft
<b>F</b> Upper Story Height	10 ft
Building Height, Feet (max)	85 ft
Roof Type	Flat

### d. Uses & Features



Facade Composition	
<b>A</b> Ground Story Fenestration (min)	70%
<b>B</b> Upper Story Fenestration (min/max)	20% 70%
Blank Wall (max)	20 ft

Use & Occupancy	
Ground Story Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft

## 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

e. Reserved

## 10. Lab Building

A multi-story building type purpose built for laboratory and research & development uses. Floor space is typically custom designed as vivariums for animal research or complex, technically sophisticated, and mechanically intensive wet or dry labs.

The following images are examples of the lab building type and are intended only for illustrative purposes.

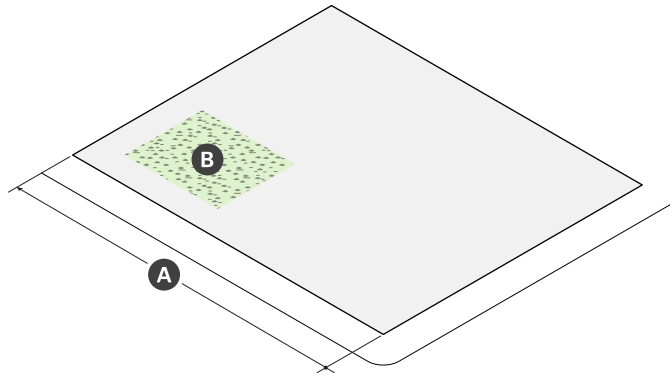


# 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

## 10. Lab Building (continued)

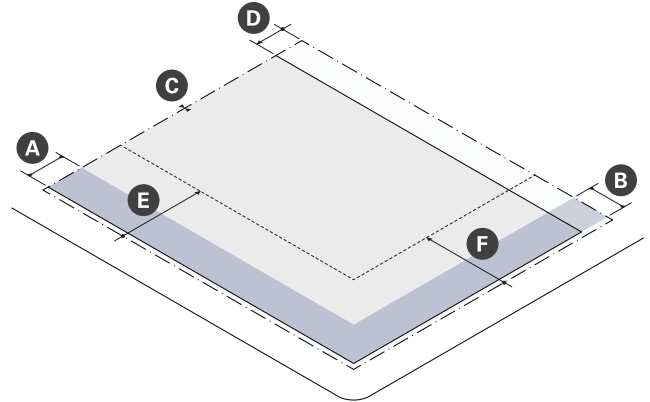
a. Lot Standards



Lot Dimensions	
<b>A</b> Width (min)	30 ft

Lot Development	
<b>B</b> Lot Coverage (max)	100%
<b>C</b> Green Score	--
Minimum	0.20
Ideal	0.25

b. Building Placement

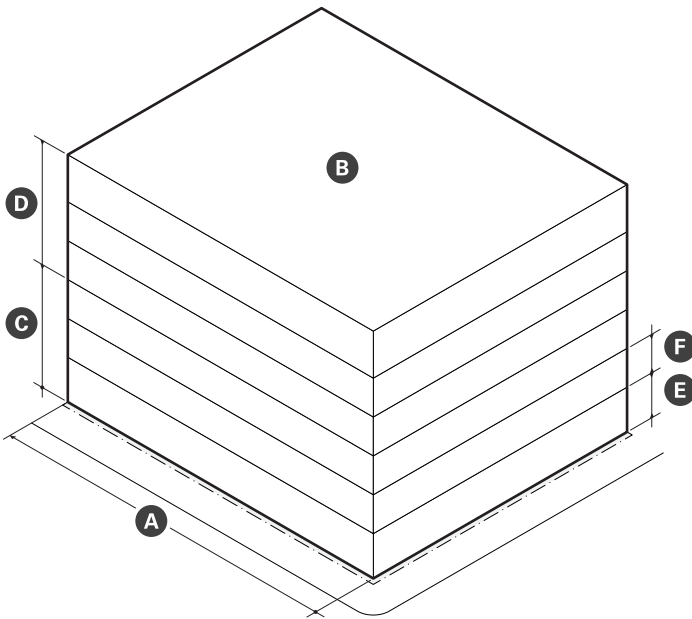


Building Setbacks		
<b>A</b> Primary Front Setback (min/max)	2 ft	15 ft
<b>B</b> Secondary Front Setback (min/max)	2 ft	15 ft
<b>C</b> Side Setback (min)	0 ft	
Side Setback Abutting NR or LHD (min)	5 ft	
<b>D</b> Rear Setback (min)	10 ft	
Rear Setback Abutting NR or LHD (min)	15 ft	

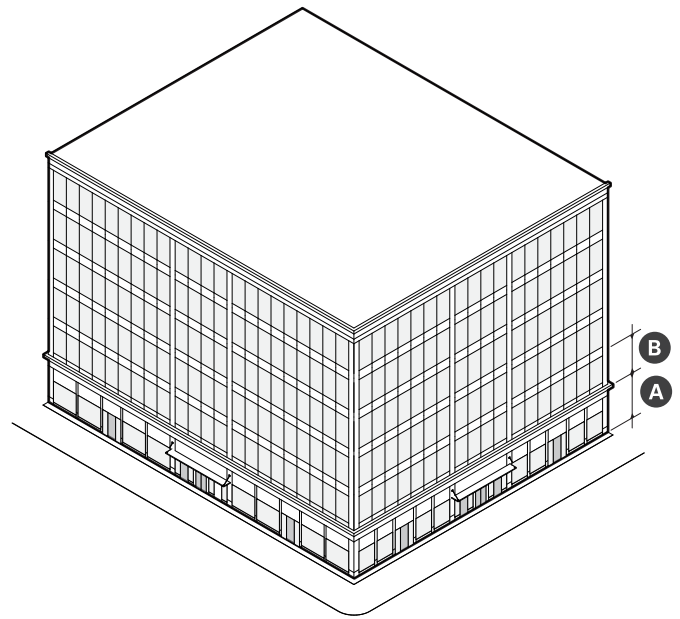
Parking Setbacks	
<b>E</b> Primary Front Setback (min)	30 ft
<b>F</b> Secondary Front Setback (min)	30 ft

## 10. Lab Building (continued)

### c. Massing & Height



### d. Uses & Features



Main Body	
<b>A</b> Width (max)	240 ft
Facade Build Out	--
Primary Front (min)	80%
Secondary Front (min)	65%
<b>B</b> Floor Plate	35,000 sf
<b>C</b> Building Height, Stories (min)	3 stories
<b>D</b> Building Height, Stories (max)	6 stories
Upper Story Step-Back (min)	--
Primary/Secondary Front	10 ft
Side/Rear Abutting NR	30 ft
<b>E</b> Ground Story Height	14 ft
<b>F</b> Upper Story Height	10 ft
Building Height, Feet (max)	95 ft
Roof Type	Flat

Facade Composition	
<b>A</b> Ground Story Fenestration (min)	70%
<b>B</b> Upper Story Fenestration (min/max)	20% 70%
Blank Wall (max)	20 ft

Use & Occupancy	
Entrance Spacing (max)	30 ft
Commercial Space Depth (min)	30 ft

## 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

e. Reserved

**11. Building Components**

- a. Building components are accessory elements attached to the main mass of a principal building.
- b. Building components are permitted as specified on Table 4.1 (a).
  - i. At least one (1) storefront is required for each ground floor commercial space.
- c. Building components not expressly authorized are prohibited.
- d. Unless otherwise specified, building components may attach to other building components to create assemblies of components.

**TABLE 4.1 (a) Permitted Building Components**

	Apartment Building	General Building	Commercial Building	Specific Standards
Awning	N	P	P	§4.4.10.e
Entry Canopy	P	P	P	§4.4.10.f
Lobby Entrance	P	P	P	§4.4.10.g
Storefront	N	P	P	§4.4.10.h
Stoop	P	N	N	§4.4.10.i
Bay Window	P	P	P	§4.4.10.j
Balcony	P	P	N	§4.4.10.k
Arcade	N	N	N	§4.4.10.l

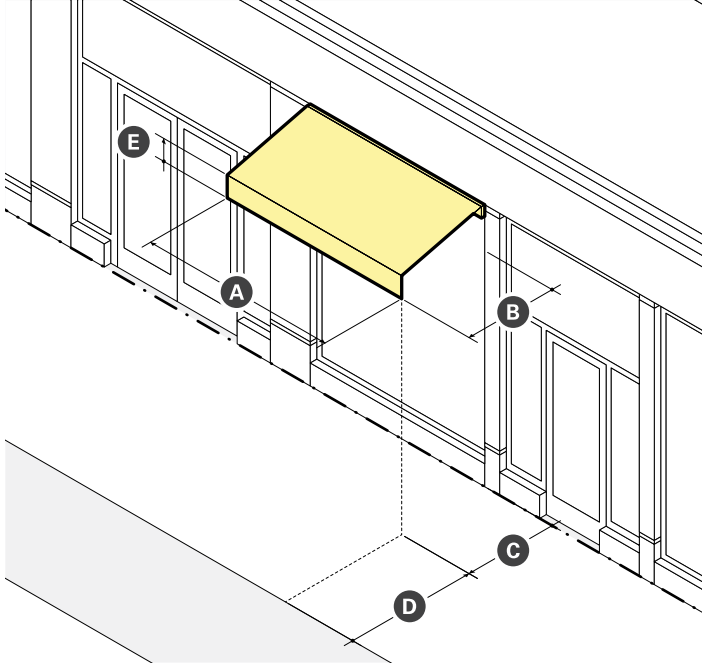
P - Permitted      SP - Special Permit Required      N - Not Permitted

# 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

## E. Awning

- i. An awning is a wall mounted frame covered with fabric or other material that provides shade and weather protection over a storefront or building entrance. **for pedestrians.**

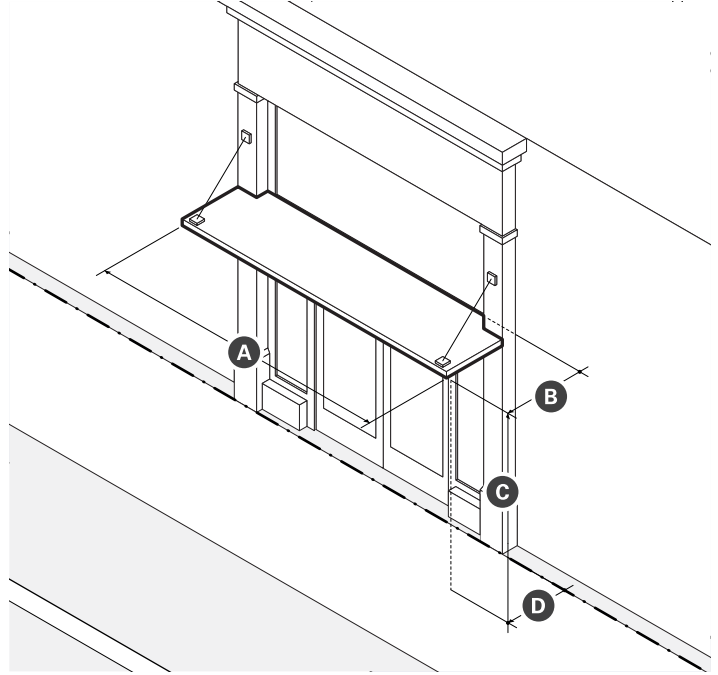


Dimensions	
<b>A</b> Width (min)	See §4.xxx)
<b>B</b> Projection (min)	3 ft
<b>C</b> Clearance (min)	8 ft
Front Setback Encroachment (max)	100%
<b>D</b> Setback from Curb (min)	2 ft
<b>E</b> Valance Height (max)	12 in

- ii. Standards
  - a). Awnings must be securely attached to and supported by the building and must fit the windows or doors the awning is attached to.
  - b). An awning must be made of durable, weather-resistant material that is water repellent.
  - c). Internally illuminated or back-lit awnings are prohibited.
  - d). An awning that projects over the sidewalk of a public thoroughfare requires compliance with all City Ordinances.

## F. Entry Canopy

- i. An entry canopy is a wall-mounted structure that provides shade and weather protection over a storefront or building entrance.



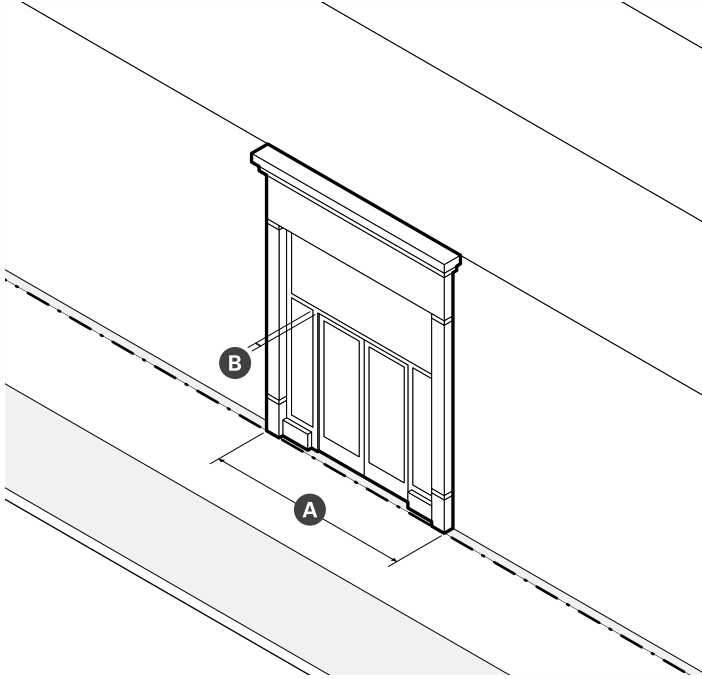
Dimensions	
<b>A</b> Width (min)	See §4.xxx)
<b>B</b> Projection (min)	3 ft
<b>C</b> Clearance (min)	8 ft
<b>D</b> Front Setback Encroachment (max)	100%
Setback from Curb (min)	2 ft

- ii. Standards
  - a). Entry canopies must be visually supported by brackets, cables, or rods.
  - b). The width of an entry canopy must be equal to or greater than the width of the doorway surround or exterior casing it is mounted over.



## G. Lobby Entrance

- i. A lobby entrance is a non-load bearing assembly of entry doors and windows providing access and light to the lobby of a building.

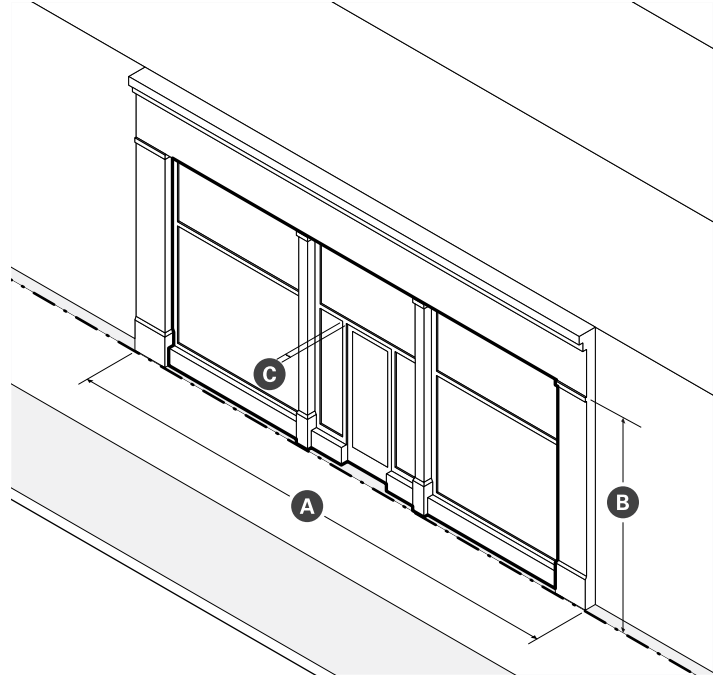


Dimensions	
<b>A</b> Width (max)	30 ft
<b>B</b> Recessed Entrance Width (max)	15 ft
Recessed Entrance Depth (max)	5 ft

- ii. Standards
  - a). When a lobby entrance is setback from the front lot line, the frontage must be paved.

## H. Storefront

- i. A storefront is a non-load bearing assembly of commercial entry doors and substantial windows for the display of goods, services, and signs.



Dimensions	
<b>A</b> Width (max)	30 ft
<b>B</b> Display Window Height (min)	8 ft
<b>C</b> Recessed Entrance Width (max)	15 ft
Recessed Entrance Depth (max)	5 ft

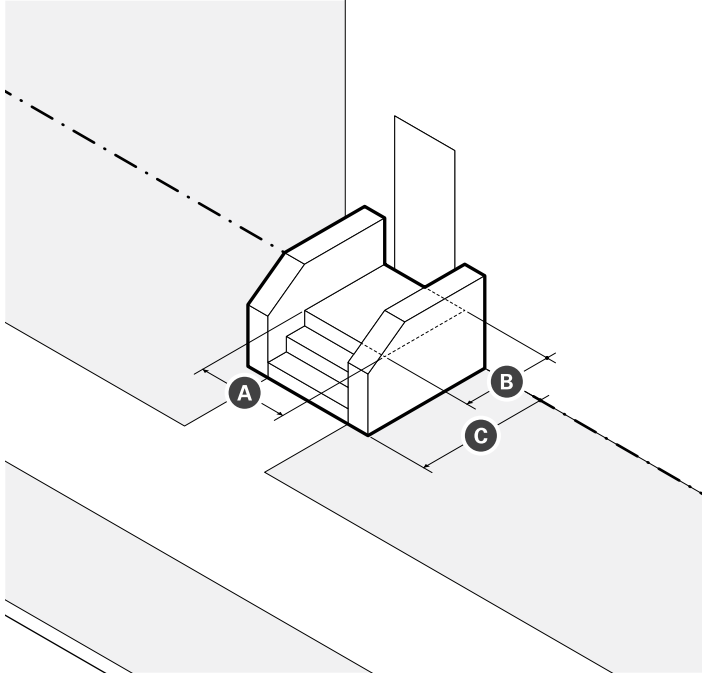
- ii. Standards
  - a). An unobstructed view of the interior space or a lighted and maintained merchandise display(s) must be provided for a depth of at least four (4) feet behind storefront display windows.
  - b). When storefronts are setback from the front lot line, the frontage area must be paved to match the abutting sidewalk.
  - c). When present, awnings and canopies must be mounted between columns, pilasters, or piers; above doorways and display windows; and below the sign band.
  - d). Exterior security grills, gates, and roll-down security doors and windows are prohibited.

# 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

## I. Stoop

- i. A stoop is a set of stairs with a landing leading to the entrance of a building.

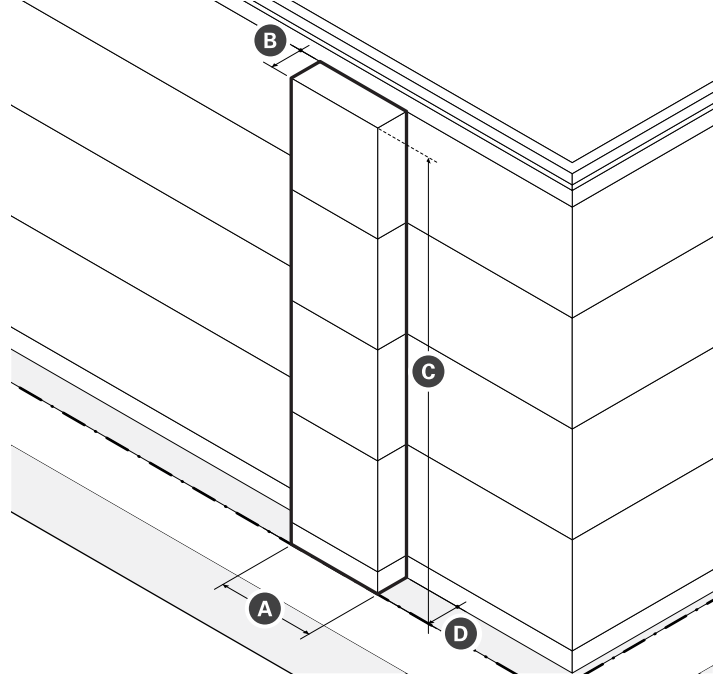


Dimensions	
<b>A</b> Landing Width (min)	4 ft
<b>B</b> Landing Depth (min)	4 ft
<b>C</b> Front Setback Encroachment (max)	100%

- ii. Standards
  - a). Paving, excluding driveways, must match the abutting sidewalk unless paved with pervious, porous, or permeable materials.
  - b). Stairs may be recessed into the building facade when the building is setback four (4) feet or less.
  - c). Stairs are not permitted to encroach onto any abutting sidewalk.
  - d). Stairs may be built perpendicular or parallel to the building facade, but must lead directly to ground level or an abutting sidewalk.

## J. Bay Window

- i. A bay window is an assembly of multiple windows that projects from a building to provide additional habitable space, increased light, multi-directional views, and articulation to an exterior wall.

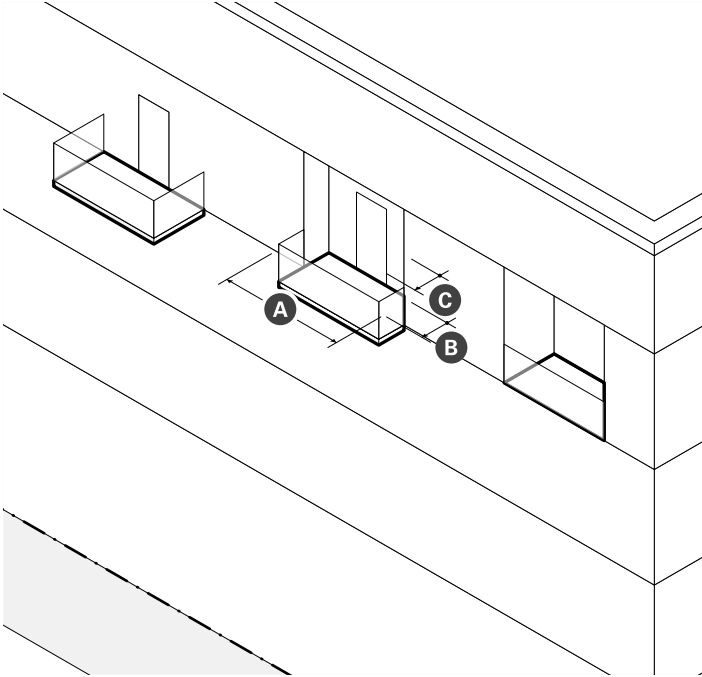


Dimensions	
<b>A</b> Width (max)	16 ft
<b>B</b> Projection (max)	3 ft
<b>C</b> Height (max)	Height of Building in Stories
<b>D</b> Front Setback Encroachment (max)	3 ft
Fenestration (min)	60%

- ii. Standards
  - a). The cumulative width of multiple bays may equal up to fifty percent (50%) of the exterior wall from which the bays project.
  - b). Bays must have a foundation extending all the way to ground level or be visually supported by brackets or other architectural supports.
  - c). Bays projecting over the sidewalk of a public thoroughfare must have at least two (2) stories of clearance and be compliant with all City Ordinances.

## K. Balcony

- i. A balcony is a platform with a railing that provides outdoor amenity space.

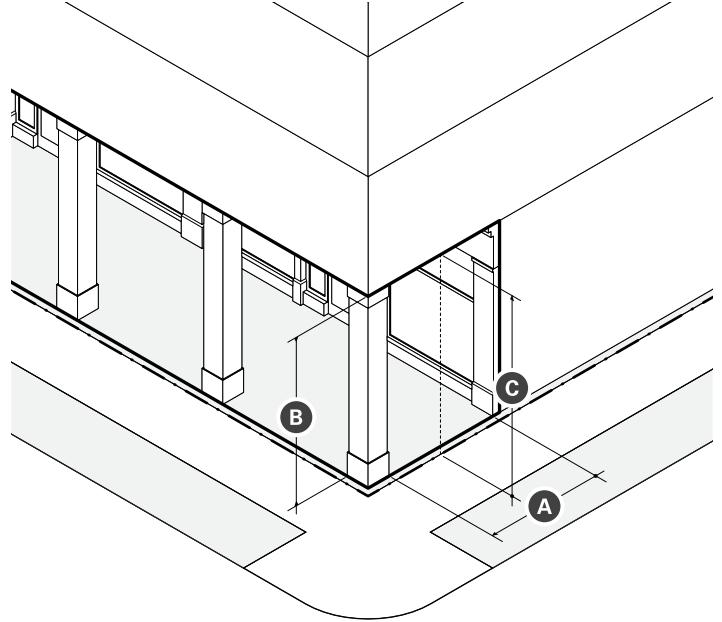


Dimensions	
<b>A</b> Width (min)	5 ft
<b>B</b> Depth (max)	5 ft
<b>D</b> Area (min)	50 ft
Clearance (min)	10 ft
Permitted Front Setback Encroachment (max)	6 ft

- ii. Standards
  - a). Balconies may be recessed, projecting, a combination of the two, or terraced as part of the roof of a portico, porch, or bay.
  - b). A balcony that projects over the sidewalk of a public thoroughfare requires compliance with all City Ordinances.
  - c). The guard rail of any balcony oriented toward a front lot line must permit visual supervision of the public realm through the posts and rails.
  - d). The guard rail of any balcony oriented toward a side or rear lot line abutting the NR district must include sight obscuring visual screening so that it is at least fifty percent (50%) opaque.

## L. Arcade

- i. An arcade is a pedestrian walkway covered by the upper floors of a building. The ground story facade is setback and upper floors are supported by a colonnade or supports.



Dimensions		
<b>A</b> Depth (min/max)	10 ft	15 ft
<b>B</b> Height (max)	1 story	
<b>C</b> Clearance (min/max)	14 ft	24 ft

- ii. Standards
  - a). Arcades must extend the entire width of a building and must have a consistent depth.
  - b). Support columns or piers may be spaced no farther apart than they are tall.
  - c). Arcades are considered part of the building for the purpose of measuring facade build out.
  - d). Arcades may be combined only with storefront and lobby entrance frontages.
  - e). The finished ceiling of an arcade interior may be arched or flat, but must have a greater clearance than the openings between columns or piers.

## 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

### 12. Building Design Standards

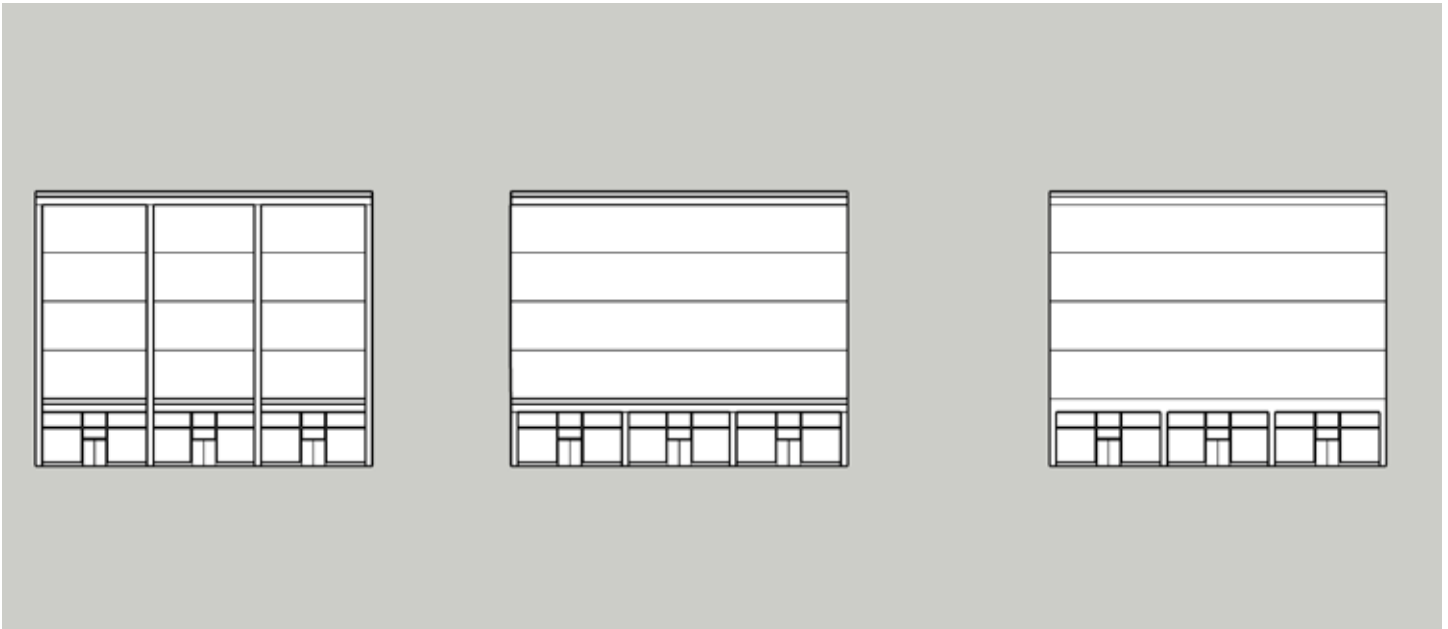
- a. Facade Design
  - i. Building facades must provide a frame for each storefront and lobby entrance of solid wall material designed as one (1) of the following:
    - a). flat wall above and to either side of a punched opening;
    - b). pilasters or columns supporting a continuous horizontal lintel (sign band) and cornice extending across the full width of the building;
    - c). a spandrel (sign band) positioned between pilasters or columns that extend from upper stories of the building to the ground.
  - ii. The required frame may be subsumed and customized into the design for individual storefronts and lobby entrances.
  - iii. Facades must be articulated to create surface relief and shadow lines that add depth to the facade through the use of architectural elements such as balconies, Bays, cladding, columns, corner boards, cornices, door surrounds, moldings, piers, pilasters, seat walls, sills, wall depth, and windows that either recess or project from the average plane of the facade by at least four (4) inches.

### 13. Architectural Design Guidelines

- a. Review Process
  - i. In addition to any official design guidelines adopted by the Review Boards, the Urban Design Commission shall determine if the guidelines of this Section are achieved by the proposed design of a building and provide recommendations to

- b. Purpose
  - i. To visually break down and minimize a building's apparent height and shorten the perceived length of a building.
  - ii. To provide structure to the composition and disposition of fenestration, enhance pedestrian orientation, and add visual interest to the public realm.
  - iii. To ensure building facades are multi-layered and contribute to a visually-rich pedestrian experience, encourage active public life on abutting sidewalks, and help to protect pedestrians from wind, sun, rain, sleet and snow with awnings or overhangs.
  - iv. To create memorable views that add to the character and enhance the aesthetics of the public realm.
- c. Facade Design
  - i. Facades should be vertically articulated into a series of Architectural Bays no wider than thirty (30) feet.
  - ii. Architectural bays should be derived, in general, from the building's structural bay spacing.
  - iii. Architectural bays should have piers (flat wall), pilasters, or columns that extend either all the way to the ground or to the cornice and sign band of ground level storefronts frames.
  - iv. Architectural bays should align, in general, with individual or groups of storefronts and lobby entrances.
  - v. Facades should be horizontally articulated into a contemporary tripartite division (base, middle, further improve the proposed design, as necessary).

FIGURE 4.1 (c) Storefront Frames



- and top). Exterior finish materials, changes in fenestration patterns, and architectural elements such as moldings, cornices, balconies, bay windows, porches, and canopies should be used to differentiate the base, middle, and top.
- vi. In most circumstances, the vertical piers (flat wall), pilasters, and columns that define Architectural Bays should always project forward and be uninterrupted by any horizontal elements of a facade, excluding any horizontal molding, cornice, or other architectural element(s) used to differentiate the tripartite division of the façade.
  - vii. Within the divisions of a facade, fenestration should align vertically within each Architectural Bay and horizontally across each story of a building.
  - viii. Upper stories should have a window to wall area proportion that is lower than that of the ground floor.
  - ix. Windows should be punched into walls with glass inset from exterior wall surfaces.
  - x. The variety of window and door sizes and proportions should be limited.
  - xi. Series of windows set side by side to form a continuous horizontal band across a facade (aka 'ribbon windows') should be avoided.
  - xii. Vents, exhausts, and other utility features on building facades should be architecturally integrated into the design of the building. Ventilation intakes/exhausts should be located to minimize adverse effects on pedestrian comfort along sidewalks and within outdoor spaces.
  - xiii. Buildings at Terminated Vistas should be articulated with design features that function as focal points.
- d. Facade Bases
- i. The base of a facade should have projecting piers, pilasters, or columns; slightly recessed storefronts; ledges, or other architectural element(s) that provide opportunities for pedestrian-oriented activities such as vending, resting, sitting, dining, or visiting along the ground floor.
  - ii. Monotonous and repetitive storefront or lobby systems, sign types, sign designs, and sign lighting should be avoided.
  - iii. Storefront doors should not obstruct pedestrians walking past or alongside a building.
  - iv. Storefronts and lobby entrances should include awnings and canopies to provide weather protection for pedestrians and reduce glare for storefront display areas. Awnings should be open-ended and operable.
  - v. Façade lighting should encourage pedestrian activity at night through layers of light that contribute to the nighttime experience.
  - vi. Lobby entrances for upper story uses should be optimally located, well defined, clearly visible, and separate from the entrance for any other ground floor uses.
  - vii. Ground floor lobby spaces should be limited in total area and width to preserve floor space and frontage for other ground floor uses. Buildings should use façade articulation, a double-height ceiling, distinctive doorway, change in wall material, change in paving material within the setback area, or some other architectural element(s) to make lobbies distinctive.
- e. Roofs
- i. Mechanical and utility equipment should be integrated into the architectural design of the building or screened from public view. Penthouses should be integrated with the buildings architectural design and not appear as foreign structures unrelated to the rest of the building.
- f. Materials
- i. The selection of materials, fenestration, and ornamentation should result in a consistent and harmonious composition that appears as a unified whole rather than a collection of unrelated parts, whatever the style.
  - ii. The type and color of materials used for a building should be kept to a minimum, preferably three (3) or less.
  - iii. Two (2) or more wall materials should be combined only one above the other.
  - iv. Wall materials appearing heavier in weight should be used below wall materials appearing lighter in weight (wood and metal above brick, and both above stone)
  - v. Horizontal or vertical board siding and shingles, whether wood, metal, plastic (vinyl), masonry, or composite materials, should be used only for smaller scale apartment buildings.
  - vi. Architectural details and finish materials for the base of a building should be constructed of architectural concrete or pre-cast cementitious panels, natural or cast stone, heavy gage metal panel, glazed or unglazed architectural terracotta, and brick.
  - vii. Exterior Insulation and Finish Systems (EIFS) should never be used for the base of a building.

## 4. MID-RISE DISTRICTS

### Mid-Rise 6 (MR6)

#### 14. Use Provisions

- a. General
  - i. The use of real property is subject to the provisions of Article 9: Use Provisions of this Ordinance. Where the provisions of this section conflict with those of Article 9, the provisions of Article 9 apply.
  - ii. Uses are permitted as specified on Table 4.1 (c). Use categories not expressly authorized are prohibited.
  - iii. All uses must comply with any use-specific standards applicable for each use in §9.2 Use Definitions & Limitations.
  - iv. Uses permitted by Special Permit require additional development review in accordance with §15.2.1 Special Permits.
- b. Use Limitations
  - i. The use of any ground story commercial space fronting a pedestrian street, excluding lobbies for upper story uses, is limited to the following principal use categories:
    - a). Arts & Creative Enterprise
    - b). Eating & Drinking Establishment
    - c). Retail
    - d). Civic & Institutional
- c. Required Uses
  - i. A minimum of five percent (5%) of the gross leasable commercial floor space in any building must be provided as leasable floor area for uses from the Arts & Creative Enterprise use category.
- d. Increases in Density
  - i. Existing structures may not be altered to conflict with number of dwelling units permitted for each building type.

**TABLE 4.4 (c) MR6 Permitted Uses**

Use Category Specific Use	MR6	Use Specific Standards
<b>Arts &amp; Creative Enterprise</b>		
Artisan Production	P	§9.2.2.a
Arts Exhibition	P	§9.2.2.b
Arts Sales & Services	P	§9.2.2.c
Co-Working	P	§9.2.2.d
Design Services	P	§9.2.2.e
Shared Workspaces & Arts Education	P	§9.2.2.f
<b>Civic &amp; Institutional</b>		
Community Center	P	§9.2.4.a
Hospital	SP	§9.2.4.b
Library	P	§9.2.4.c
Minor Utility Facility	SP	§9.2.4.d
Museum	P	§9.2.4.f
Private Non-Profit Club or Lodge	SP	§9.2.4.g
Public Service	P	§9.2.4.h
Religious & Educational Uses Protected by M.G.L. 40A. Sec. 3	P	§9.2.4.i
<b>Commercial Services</b>		
Animal Services (as noted below)	--	§9.2.5.a
Pet Grooming	P	§9.2.5.a.ii
Veterinarian	SP	§9.2.5.a.iv
Assembly & Entertainment	SP	§9.2.5.b
Banking & Financial Services (except as noted below)	P	§9.2.5.c
Personal Credit	SP	§9.2.5.c.i
Broadcast and/or Recording Studio	P	§9.2.5.d
Building & Home Repair Services	SP	§9.2.5.e
Business Support Services	P	§9.2.5.f
Caterer/Wholesale Food Production	SP	§9.2.5.g
Day Care Service (as noted below)	--	§9.2.5.h
Adult Day Care Center	P	§9.2.5.h.i
Child Day Care Center	P	§9.2.5.h.ii
Educational Institution	P	§9.2.5.i
Maintenance & Repair of Consumer Goods	P	§9.2.5.j
Personal Services (except as noted below)	P	§9.2.5.k
Body-Art Establishment	SP	§9.2.5.k.i
Gym or Health Club	P	§9.2.5.k.ii

P - Permitted      SP - Special Permit Required      N - Not Permitted

# 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

**TABLE 4.4 (c) Permitted Uses (continued)**

Use Category Specific Use	MR6	Use Specific Standards
Funeral Home	SP	§9.2.5.k.iii
Health Care Provider	SP	§9.2.5.k.iv
<b>Recreation Facility</b>	SP	§9.2.5.l
<b>Vehicle Parking (as noted below)</b>	--	§9.2.5.m
Bike Share Parking	P	§9.2.5.m.i
Car Share Parking (3 or less spaces)	P	§9.2.5.m.ii
Car Share Parking (4 or more spaces)	P	§9.2.5.m.ii
Commercial Parking	P	§9.2.5.m.iii
<b>Eating and Drinking</b>		
Bar/Restaurant/Tavern	P	§9.2.6.a
Bakery/Café/Coffee Shop	P	§9.2.6.b
Formula Eating & Drinking Establishment	SP	§9.2.6.c
<b>Lodging</b>		
Bed & Breakfast	SP	§9.2.8.a
Hotel or Hostel	SP	§9.2.8.b
<b>Office</b>		
General Office	P	§9.2.9.a
Research and Development and/or Laboratory	P	§9.2.9.b
<b>Residential</b>		
Household Living	SP	§9.2.10.a
<b>Group Living (except as follows)</b>	SP	§9.2.10.b
Community or Group Residence	P	§9.2.10.b.i
Dormitory, Fraternity or Sorority	SP	§9.2.10.b.ii
Homeless Shelter	SP	§9.2.10.b.iii
Nursing Home/Assisted Living Facility	SP	§9.2.10.b.iv
Rooming House	SP	§9.2.10.b.v
<b>Retail Sales</b>		
Building/Home Supplies & Equipment	SP	§9.2.11.a
<b>Consumer Goods (except as follows)</b>	P	§9.2.11.b
Alcohol Sales	SP	§9.2.11.b.i
Drug Paraphernalia Store	N	§9.2.11.b.ii
Firearms Sales	N	§9.2.11.b.ii
Pet Store	SP	§9.2.11.b.v
Formula Retail	SP	§9.2.11.c
Fresh Food Market or Grocery Store	P	§9.2.10.d

P - Permitted      SP - Special Permit Required      N - Not Permitted



**TABLE 4.4 (c) Permitted Uses (continued)**

Use Category Specific Use	MR6	Use Specific Standards
Farm/Vendor Market	P	§9.2.10.e
<b>Urban Agriculture</b>		
Farming (as noted below)	--	§9.2.12.a
Commercial Farm	P	§9.2.12.a.i
Community Farm	P	§9.2.12.a.ii
Community Gardening	P	§9.2.12.b
<b>Accessory Uses</b>		
Home Occupations (as noted below)	--	§9.2.13.b
Home Office	P	§9.2.13.b.v
Urban Agriculture (as noted below)	--	§9.2.13.d
Apiculture	P	§9.2.13.d.i
Aviculture	P	§9.2.13.d.ii
Commercial Farming	P	§9.2.13.d.iii
Residential Gardening	P	§9.2.13.d.iv

P - Permitted      SP - Special Permit Required      N - Not Permitted

## 4. MID-RISE DISTRICTS

### Mid-Rise 6 (MR6)

#### 15. Development Standards

- a. General
  - i. Development is subject the provisions of Article 10 Site Development of this Ordinance. Where the provisions of this section conflict with those of Article 10, the provisions of Article 10 apply.
- b. Signs
  - i. A sign, individual numerals or letters, or a nonelectrical nameplate identifying the property address is required for all real property as follows:
    - a). Each ground story non-residential use must identify the street address either on the principal entrance door or above or beside the principal entrance of the use.
    - b). All residential building types must identify the street address either on the principal entrance door, above or beside the principal entrance, or on a mailbox.
  - ii. Address signs must be made easily visible through the use of colors or materials that contrast with the background material they are attached to and must be conspicuously located to provide visibility from the thoroughfare that the building faces.
  - iii. Address signs must be twelve (12) inches in height or less and may include the name of the occupant.
- i. New driveways require a permit from the City Engineer.
- ii. Driveways must be compliant with all City Ordinances and constructed in accordance with all standards established by relevant City departments.
- iii. Driveways are not permitted in the frontage area between a building and the front lot line.
- iv. Driveways may be no wider than twenty four (24) feet in the frontage area of a lot.
- v. Driveways may provide access in whole or in part on or across an abutting lot(s), provided that an access easement exists between all property owners.

#### 16. Parking & Mobility

- a. General
  - i. Development is subject the provisions of Article 11 Parking & Mobility of this Ordinance. Where the provisions of this section conflict with those of Article 11, the provisions of Article 11 apply.
  - ii. Vehicular parking must be provided as specified on Table 4.1 (d), except as follows:
    - a). Non-residential uses with five thousand (5,000) square feet or less of gross leasable floor area are exempt from any minimum requirements of Table 4.1. (d).
    - b). Any change in use within a non-residential structure constructed before the effective date of this Ordinance, provided that the change is to a permitted use, is exempt from any minimum requirements of Table 4.1 (d).
  - iii. There are no parking requirements for accessory uses.
  - iv. Motor vehicle parking spaces may be shared between uses on the same lot and buildings on the same block in accordance with §11.3 Shared Parking.
- b. Type
  - i. Motor vehicle parking may be provided as above ground structured parking or underground structured parking. Surface parking is prohibited.
- c. Driveways
  - d. Parking Design
    - i. The design of all parking is subject to §11.1 Bicycle Parking and §11.2 Motor Vehicle Parking of this Ordinance.
  - e. Parking Location
    - i. Required vehicular parking, excluding any required handicapped parking, may be provided on a contiguous lot under the same ownership as the lot that the parking will serve as follows:
      - a). Pedestrian access to off-site vehicular parking must be via a paved sidewalk or walkway.
      - b). A lease, recorded covenant, or other comparable legal instrument guaranteeing long term use of the site must be provided to the review board or building official and executed and filed with the Registry of Deeds.
    - ii. For real property located in more than one municipality, motor vehicle parking need not be located within the City of Somerville.
  - f. Unbundled Parking
    - i. Motor vehicle parking spaces must be rented or leased as an option rather than a requirement of the rental, lease, or purchase of a dwelling unit or non-residential floor space.
    - ii. Bicycle parking must be provided at no cost or fee to customers, visitors, employees, tenants, and residents.
  - g. Parking Relief
    - i. Relief from the parking standards of Table 4.4 (d) requires a Special Permit.
      - a). In its discretion to approve or deny a special permit authorizing relief from the parking standards of Table 4.4 (d), the review board shall consider, at least, the following:
        - i). The supply and demand of on-street parking in the neighborhood, as determined through a parking study.
        - ii). Mobility management programs and services provided by the applicant to reduce the demand for parking.

**TABLE 4.4 (d) Vehicular Parking**

\*See Transit Orientation Map for distance to a Transit Station

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area (max)	Outside of a Transit Area (min)
<b>Arts &amp; Creative Enterprise</b>				
All Permitted Uses	1 / 10,000 sf	1 / 3,000 sf	1 / 800 sf	1 / 1,000 sf
<b>Civic &amp; Institutional</b>				
Community Center	1 / 10,000 sf	4 / 10,000 sf	1 / 1,800 sf	1 / 600 sf
Educational Facility	1.0 / classroom	4.0 / classroom	1.5 / classroom	3.0 / classroom
Hospital	10 per entrance	1 / 5,000 sf	1 / 200 sf	1 / 1,000 sf
Library	1 / 3,000 sf	1 / 5,000 sf	1 / 800 sf	1 / 500 sf
Minor Utility Facility	n/a	n/a	n/a	n/a
Museum	1 / 2,000 sf	1 / 10,000 sf	1 / 800 sf	1 / 500 sf
Private Non-Profit Club or Lodge	1 / 2,000 sf	1 / 10,000 sf	1 / 200 sf	1 / 1,000 sf
<b>Commercial Services</b>				
Animal Services (as noted below)	1 / 2,500 sf	1 / 10,000 sf	–	–
Pet Grooming	–	–	1 / 500 sf	1 / 400 sf
Veterinarian	1 / 2,000 sf	1 / 5,000 sf	1 / 500 sf	1 / 500 sf
Assembly & Entertainment	1 / 40 seats	1 / 10,000 sf	1 / 6 seats	1 / 6 seats
Banking & Financial Services (except as noted below)	1 / 2,000 sf	1 / 10,000 sf	1 / 450 sf	1 / 400 sf
Broadcast and/or Recording Studio	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 600 sf
Building & Home Repair Services	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 2,000 sf
Business Support Services	1 / 2,500 sf	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Caterer/Wholesale Food Production	1 / 2,500 sf	1 / 10,000 sf	1 / 800 sf	1 / 1,000 sf
Day Care Service	2	1 / 10,000 sf	1 / 900 sf	1 / 600 sf
Maintenance & Repair of Consumer Goods	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Personal Services (except as noted below)	1 / 2,500 sf	1 / 10,000 sf	1 / 750 sf	1 / 1,000 sf
Gym or Health Club	–	–	1 / 200 sf	1 / 500 sf
Funeral Home	–	–	–	–
Health Care Provider	1 / 2,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 300 sf
Recreation Facility	1 / 2,500 sf	1 / 10,000 sf	–	–

sf - Gross Leasable Square Footage

DU - Dwelling Unit

RU - Rooming Unit

# 4. MID-RISE DISTRICTS

Mid-Rise 6 (MR6)

**TABLE 4.4 (d) Vehicular Parking (continued)**

\*See Transit Orientation Map for distance to a Transit Station

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area (max)	Outside of a Transit Area (min)
<b>Eating and Drinking</b>				
Bar/Restaurant/Tavern	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
Bakery/Café/Coffee Shop	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
Formula Eating & Drinking Establishment	1 / 1,000 sf	1 / 5,000 sf	1 / 300 sf	1 / 500 sf
<b>Lodging</b>				
Bed & Breakfast	1 / 20 rooms	1 / 10 rooms	1 / DU + 1 / 4 guest rooms	1 / DU + 1 / 4 guest rooms
Hotel or Hostel	1 / 20 rooms	1 / 10 rooms	1 / 2 guest rooms	1 / 2 guest rooms
Short Term Rental	1 / 20 rooms	1 / 10 rooms	n/a	n/a
<b>Office</b>				
Co-Working	1 / 20,000 sf	1 / 3,000 sf	1 / 1,200 sf	1 / 800 sf
General Office	1 / 20,000 sf	1 / 3,000 sf	1 / 900 sf	1 / 650 sf
Research and Development and/or Laboratory	1 / 20,000 sf	1 / 5,000 sf	1 / 1,000 sf	1 / 1,000 sf
<b>Residential</b>				
Household Living	0.1 / DU	1.0 / DU	1.0 / DU	1.0 / DU
Group Living (except as follows)	0.05 / room	0.5 / room	–	–
Community or Group Residence	–	–	–	–
Dormitory, Fraternity or Sorority	0.1 / room	0.5 / room	.05 / bed	1.0 / 4 beds
Homeless Shelter	–	–	4.0	4.0
Nursing Home/Assisted Living Facility	–	–	1 / 6 beds	1 / 6 beds
Single Room Occupancy Housing	–	–	1 / 6 beds	1 / 4 beds
<b>Retail Sales</b>				
Building/Home Supplies & Equipment	1 / 2,500 sf	1 / 10,000 sf	1 / 1,000 sf	1 / 1,000 sf
Consumer Goods (except as follows)	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Formula Retail	1 / 2,500 sf	1 / 10,000 sf	1 / 1,500 sf	1 / 750 sf
Fresh Food Market or Grocery Store	1 / 1,000 sf	1 / 10,000 sf	1 / 500 sf	1 / 1,500 sf
Farm/Vendor Market	n/a	n/a	n/a	1 / 1,500 sf

sf - Gross Leasable Square Footage

DU - Dwelling Unit

RU - Rooming Unit

- iii). That parking provided in excess of any maximum permitted does not result in the increase in impervious lot area.

## 17. Public Realm

- a. Pedestrian Circulation
  - i. When development occurs on any lot abutting a sidewalk that is less than twelve (12) feet in total width, the building must be setback an additional distance to accommodate expansion of the abutting sidewalk to a width of at least twelve (12) feet. The minimum and maximum front setbacks for each building type are increased accordingly.
- b. Sidewalk Curb Cuts
  - i. A curb cut requires a permit from the City Engineer and must be compliant with all City Ordinances.
  - ii. Unless otherwise specified, the City Engineer may not permit more than one (1) curb cut per front lot line of a lot.
  - iii. Curb cuts are prohibited for all thoroughfares designated as a pedestrian street
  - iv. Curb cuts must be located to minimize conflicts with pedestrians and bicyclists and must have a clear distance from fire hydrants, street trees, utility poles, and other furnishings as deemed necessary by the City Engineer.
    - a). Curb cuts for commercial or high-volume driveways should be at least one-hundred (100) feet from an unsignalized or signalized intersection.
    - b). Curb cuts for residential driveways should be at least twenty (20) feet from an unsignalized intersection and at least forty (40) feet from a signalized intersection.
  - v. The interior width of a curb cut (between curb stones) may be no wider than the driveway, vehicular entrance, or loading facility it serves.
  - vi. A driveway apron may be installed only within the furnishing zone of a sidewalk and must be constructed in accordance with all standards established by relevant City departments.
  - vii. The grade, cross slope, and clear width of the walkway of a sidewalk must be maintained between the driveway apron and the abutting driveway. The appearance of the walkway (ie. scoring pattern or paving material) must indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.

**FIGURE X.X (x) Sidewalk Curb Cuts**

