

3 RESIDENTIAL DISTRICTS

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3.1 NEIGHBORHOOD RESIDENCE (NR)

1. Character Description

The Neighborhood Residence district is characterized by a variety of small and moderate floor plate, one- and two-unit buildings with minimal front and side setbacks to help prioritize back yard space. The district is almost entirely residential, with occasional neighborhood stores, schools, places of worship, and arts related uses on advantageous sites.



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Neighborhood Residence (NR)

2. Intent

- a. To implement the Neighborhood Residential context from the Future Land Context Map of SomerVision.
- b. To conserve already established areas of detached and semi-detached residential buildings.

3. Purpose

- a. To permit the development of one- and two-unit detached and semi-detached residential buildings on individual lots.
- b. To permit contextual modifications to existing detached and semi-detached residential buildings.
- c. To permit the adaptive reuse of certain existing nonconforming buildings for arts & creative enterprise and retail uses compatible with residential areas.

4. Applicability

- a. The section is applicable to all real property within the Neighborhood Residence district as shown on the maps of the Official Zoning Atlas of the City of Somerville.

5. Development Review

- a. Development review is subject to the provisions of Article 15: Administration of this Ordinance.
- b. All development, excluding normal maintenance, requires the submittal of a development review application to the Building Official and the issuance of a Certificate of Zoning Compliance prior to the issuance of a Building Permit or Certificate of Occupancy.
- c. Proposed development may or may not necessitate the need for a Special Permit or a Variance based on the nature of the proposal. In such cases, additional development review is required in accordance with Article 15: Administration.
 - i. The Zoning Board of Appeals is the decision making authority for all development that requires a Special Permit or Variance in the Neighborhood Residence district.
- d. Upon verification that no additional development review is necessary or completion of the required development review, the Building Official shall issue a Zoning Compliance Certificate to certify compliance with the provisions and procedures of this Ordinance.

6. Building Types

- a. One (1) principal building type and one (1) accessory building type may be built on each lot.
- b. The following principal building types are permitted in the Neighborhood Residence district:
 - i. Cottage
 - ii. Detached House
 - iii. Semi-Detached House
 - iv. Duplex
 - v. Detached Triple Decker
 - a). The Detached Triple Decker building type is permitted only:
 - i). on a lot that is directly adjacent to a lot with a preexisting detached triple decker; and
 - ii). on a lot that is directly abutting any property in the UR, MR, HR zoning districts.
- c. The following accessory building types are permitted in the Neighborhood Residence district:
 - i. Carriage House
- d. Accessory structures are regulated according to Article 10: Development Standards of this Ordinance.

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7. Cottage

A small floor plate, detached, residential building type with one dwelling unit. The cottage is the smallest type of detached principal building in Somerville. Two variants exist, one with a half-story under pitched roof and another with a full height second story and a shallow pitched roof or a flat roof.

The following images are examples from Somerville of the cottage building type and are intended only for illustrative purposes.

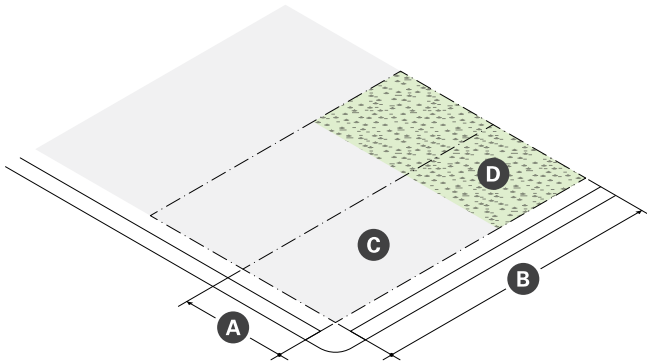


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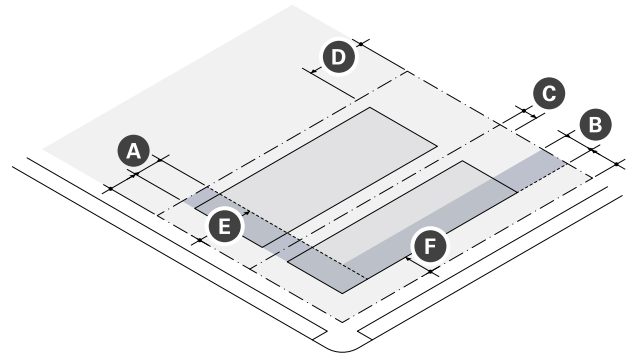
Neighborhood Residence (NR)

7. Cottage (continued)

a. Lot Standards



b. Building Placement



Lot Dimensions	
A Width (min)	--
No Driveway Access	32 ft
Side or Rear Driveway Access	32 ft
Front Driveway Access	35 ft
B Depth (min)	70 ft

Building Setbacks		
A Primary Front Setback ¹ (min/max)	10 ft	20 ft
B Secondary Front Setback ¹ (min/max)	10 ft	20 ft
C Side Setback (min)	0 ft	
C Sum of Side Setbacks (min)	10 ft	
D Rear Setback (min)	20 ft	

Lot Development	
C Lot Coverage (max)	60%
D Green Score	--
Minimum	0.35
Ideal	0.40

Parking Setbacks	
E Primary Front Setback (min)	20 ft
F Secondary Front Setback (min)	10 ft

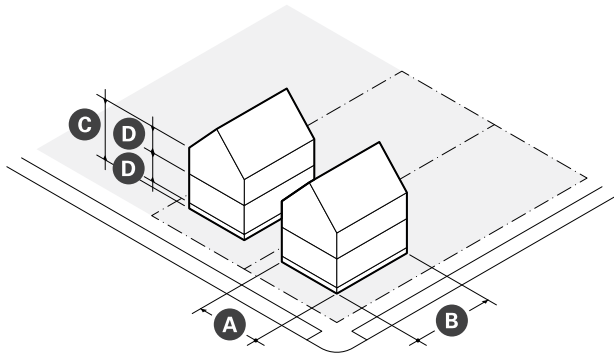
¹ See §3.1.13.a Contextual Front Setbacks

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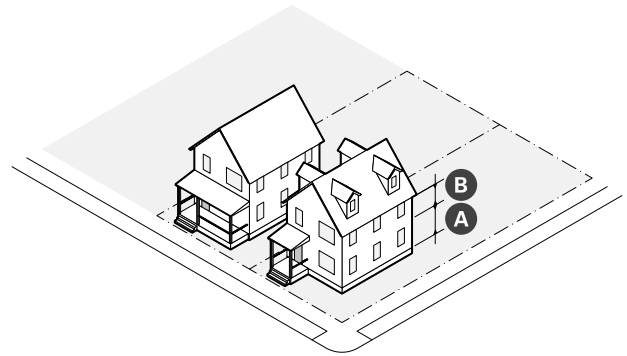
Neighborhood Residence (NR)

7. Cottage (continued)

c. Massing & Height



d. Uses & Features



Main Body	
Facade Build Out (min)	60%
A Width (min/max)	22 ft 26 ft
B Depth (min/max)	24 ft 32 ft
C Building Height (max)	2 stories
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Flat, Gable, Mansard

Facade Composition	
A Ground Story Fenestration (min/max)	20% 50%
B Upper Story Fenestration (min/max)	20% 50%

Use & Occupancy	
Dwelling Units per Lot (max)	2
Dwelling Units (max)	--
Household Living	1
Accessory Apartment	0
Outdoor Amenity Space (min)	1/ DU

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Neighborhood Residence (NR)

7. Cottage (continued)

- e. Housing
 - i. There is no affordable housing requirement for a cottage.

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8. Detached House

A moderate floor plate, detached, residential building type with one dwelling unit or two vertically stacked dwelling units, where each unit typically has its own front door. The house is the most prevalent building type in Somerville. When the second floor is split between the two dwelling units, this type is referred to as a "Philly Style".

The following images are examples from Somerville of the house building type and are intended only for illustrative purposes.

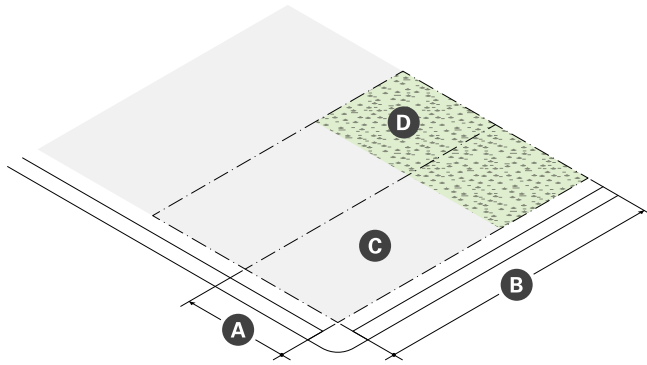


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Neighborhood Residence (NR)

8. Detached House (continued)

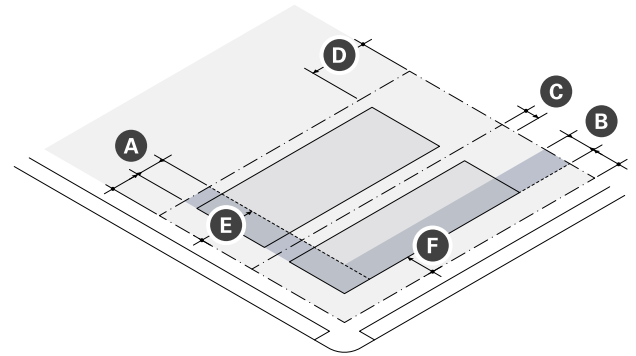
a. Lot Standards



Lot Dimensions	
A Width (min)	--
No Driveway Access	32 ft
Side or Rear Driveway Access	32 ft
Front Driveway Access	35 ft
B Depth (min)	80 ft

Lot Development	
C Lot Coverage (max)	60%
D Green Score	--
Minimum	0.35
Ideal	0.40

b. Building Placement



Building Setbacks		
A Primary Front Setback ¹ (min/max)	10 ft	20 ft
B Secondary Front Setback ¹ (min/max)	10 ft	20 ft
C Side Setback (min)	0 ft	
C Sum of Side Setbacks (min)	10 ft	
D Rear Setback (min)	20 ft	

Parking Setbacks		
E Primary Front Setback (min)	20 ft	
F Secondary Front Setback (min)	10 ft	

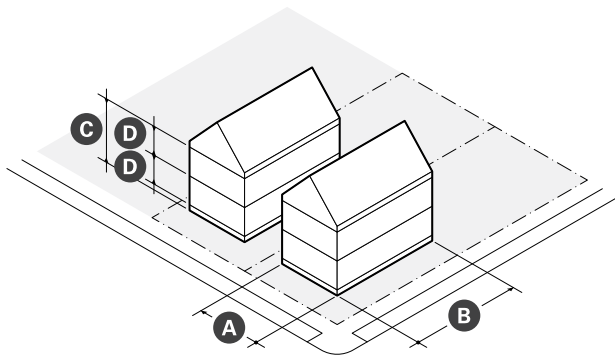
¹ See §3.1.13.a Contextual Front Setbacks

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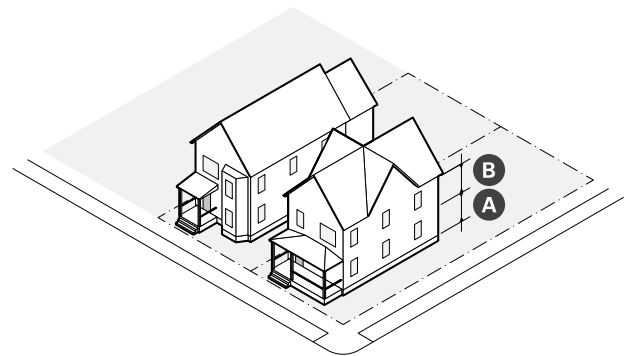
Neighborhood Residence (NR)

8. Detached House (continued)

c. Massing & Height



d. Uses & Features



Main Body	
Facade Build Out (min)	50%
A Width (min/max)	22 ft 28 ft
B Depth (min/max)	28 ft 48 ft
C Building Height (max)	2.5
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Flat, Gable, Gambrel, Hip, or Mansard

Facade Composition	
A Ground Story Fenestration (min/max)	20% 50%
B Upper Story Fenestration (min/max)	20% 50%

Use & Occupancy	
Dwelling Units per Lot (max)	3
Dwelling Units (max)	--
Household Living	2
Accessory Apartment	1
Outdoor Amenity Space (min)	1/ DU

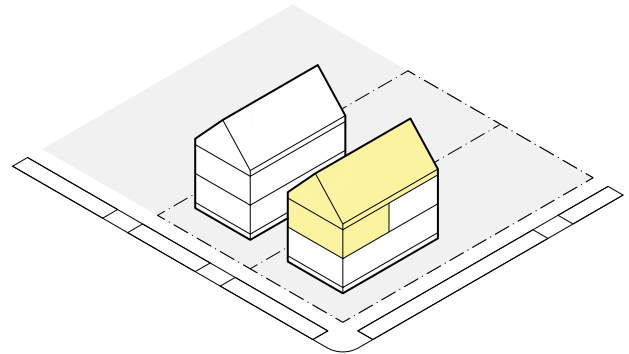
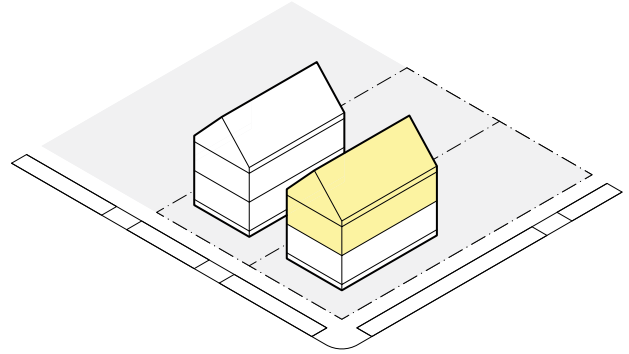
3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

8. Detached House (continued)

- e. Housing
 - i. There is no affordable housing requirement for a detached house.
 - ii. The dwelling units within a detached house building type must be, generally, stacked one over the other. Common examples are shown in Figure 3.1 (a). Dwelling units that are side-by-side or front-to-back in orientation are not permitted.

FIGURE 3.1 (a) Dwelling Unit Orientation Options



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Neighborhood Residence (NR)

9. Semi-Detached House

A moderate floor plate, semi-detached, residential building type with one dwelling unit or two vertically stacked dwelling units. A semi-detached house must be attached on one side to another semi-detached house by a party wall.

The following images are examples from Somerville of the semi-detached house building type and are intended only for illustrative purposes.

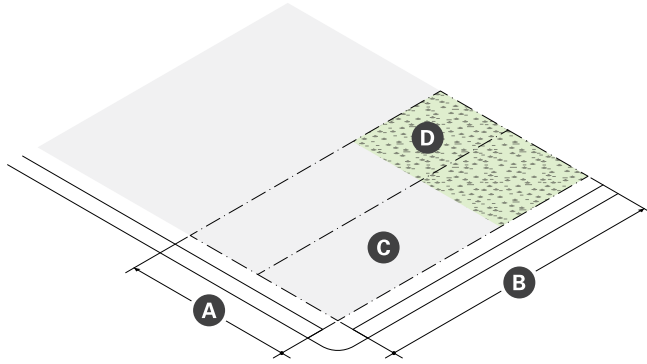


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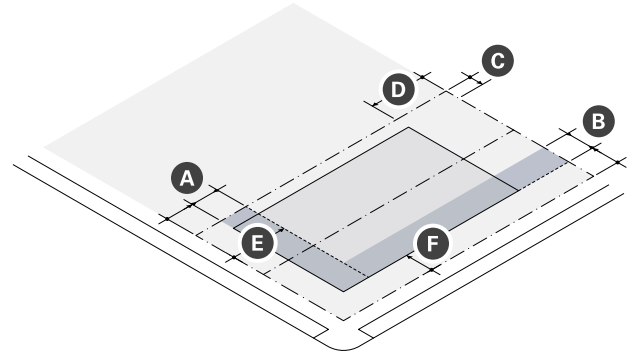
Neighborhood Residence (NR)

9. Semi-Detached House (continued)

a. Lot Standards



b. Building Placement



Lot Dimensions	
A Width (min)	--
No Driveway Access	27 ft
Side or Rear Driveway Access	27 ft
Front Driveway Access	30 ft
B Depth (min)	80 ft

Lot Development	
C Lot Coverage (max)	60%
D Green Score	--
Minimum	0.35
Ideal	0.40

Building Setbacks		
A Primary Front Setback ¹ (min/max)	10 ft	20 ft
B Secondary Front Setback ¹ (min/max)	10 ft	20 ft
C Side Setback (min)	--	
Party Lot Line	0 ft	
Side Lot Line	5 ft	
D Rear Setback (min)	20 ft	

Parking Setbacks	
E Primary Front Setback (min)	20 ft
F Secondary Front Setback (min)	10 ft

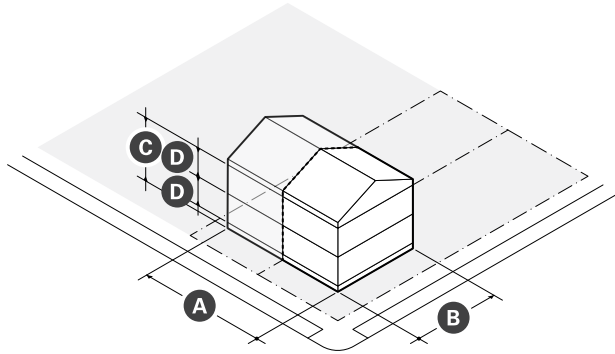
¹ See §3.1.13.a Contextual Front Setbacks

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Neighborhood Residence (NR)

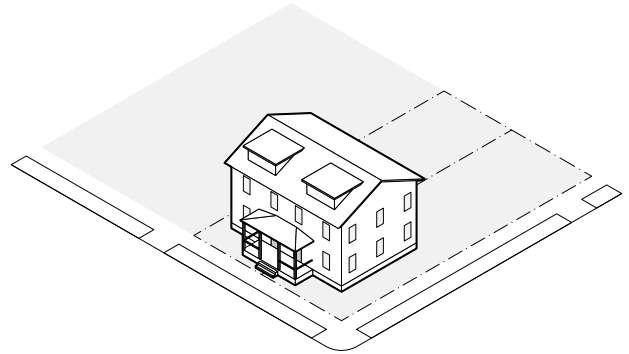
9. Semi-Detached House (continued)

c. Massing & Height



Main Body	
Facade Build Out (min)	50%
A Width (min/max)	22 ft 28 ft
B Depth (min/max)	28 ft 48 ft
C Building Height (max)	2.5
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Flat, Gable, Mansard

d. Uses & Features



Facade Composition		
A Ground Story Fenestration (min/max)	20%	50%
B Upper Story Fenestration (min/max)	20%	50%

Use & Occupancy	
Dwelling Units per Lot (max)	3
Dwelling Units (max)	--
Household Living	2
Accessory Apartment	1
Outdoor Amenity Space (min)	1/ DU

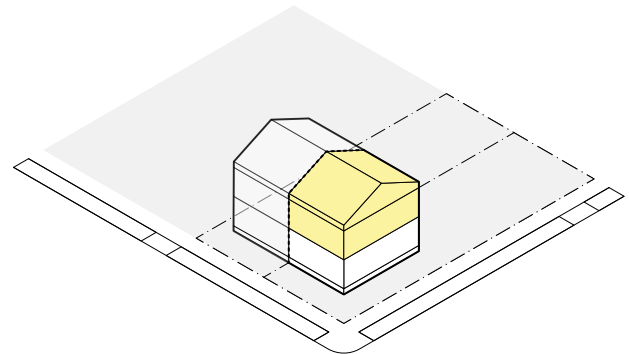
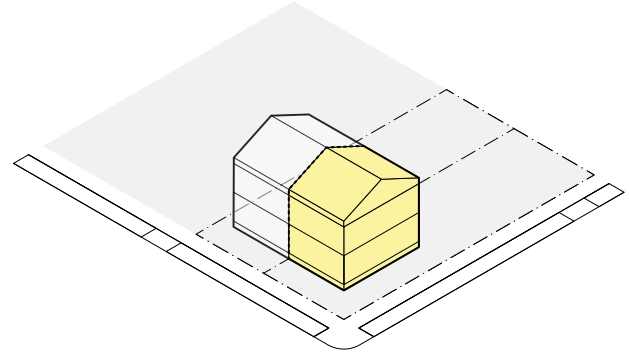
3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

9. Semi-Detached House (continued)

- e. Housing
 - i. A maximum...
 - ii. There is no affordable housing requirement for a semi-detached house.
 - iii. The dwelling units within a semi-detached house building type must be, generally, stacked one over the other. Common examples are shown in Figure 3.1 (b). Dwelling units that are side-by-side or front-to-back in orientation are not permitted.

FIGURE 3.1 (b) Dwelling Unit Orientation Options



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Neighborhood Residence (NR)

10. Duplex

A moderate floor plate, detached, residential building type with two side-by-side dwelling units. When occupying a corner lot, the duplex may have dwelling units attached back to side so that one dwelling unit is oriented toward each frontage.

The following images are primarily examples from Somerville of the duplex building type and are intended only for illustrative purposes.

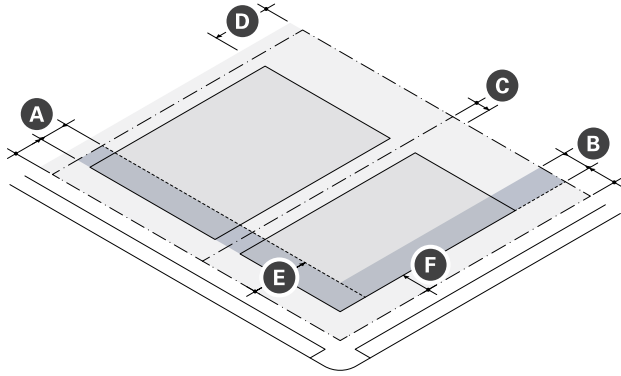


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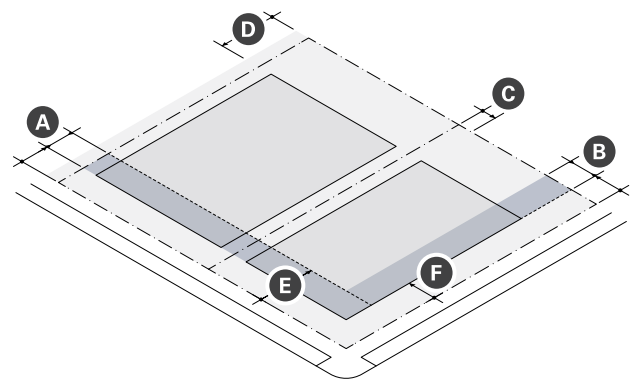
Neighborhood Residence (NR)

10. Duplex (continued)

a. Lot Standards



b. Building Placement



Lot Dimensions	
A Width (min)	--
No Driveway Access	50 ft
Side or Rear Driveway Access	50 ft
Front Driveway Access	53 ft
B Depth (min)	70 ft

Lot Development	
C Lot Coverage (max)	60%
D Green Score	--
Minimum	0.35
Ideal	0.40

Building Setbacks	
A Primary Front Setback ¹ (min/max)	10 ft 20 ft
B Secondary Front Setback ¹ (min/max)	10 ft 20 ft
C Side Setback (min)	0 ft
C Sum of Side Setbacks (min)	10 ft
D Rear Setback (min)	20 ft

Parking Setbacks	
E Primary Front Setback (min)	20 ft
F Secondary Front Setback (min)	10 ft

¹ See §3.1.13.a Contextual Front Setbacks

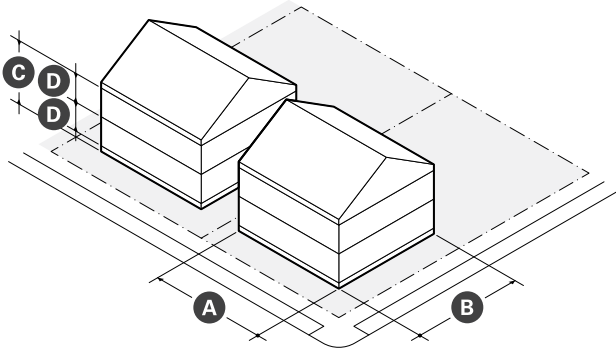
3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

10. Duplex (continued)

c. Massing & Height

d. Uses & Features



Main Body	
Facade Build Out (min)	50%
A Width (min/max)	40 ft 56 ft
B Depth (min/max)	30 ft 52 ft
C Building Height (max)	2.5 stories
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Flat, Gable, Mansard

Facade Composition		
A Ground Story Fenestration (min/max)	20%	50%
B Upper Story Fenestration (min/max)	20%	50%

Use & Occupancy	
Dwelling Units per Lot (max)	3
Dwelling Units (max)	—
Household Living	2
Accessory Apartment	0
Outdoor Amenity Space (min)	1/ DU

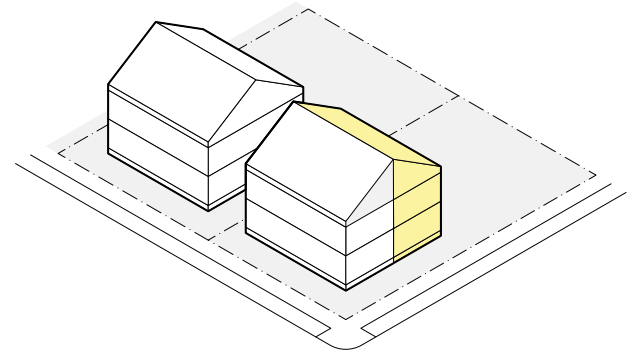
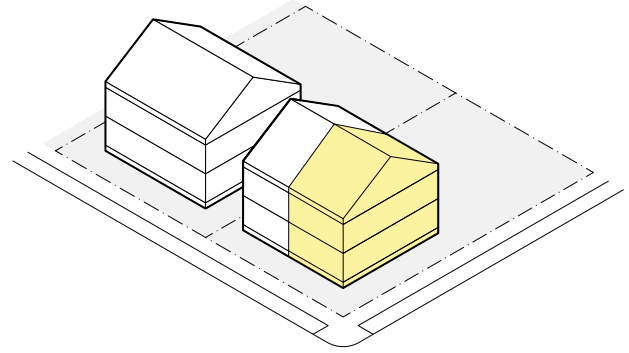
3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

10. Duplex (continued)

- e. Housing
 - i. There is no affordable housing requirement for a duplex.
 - ii. The dwelling units within a duplex building type must be side-by-side and both must be oriented toward the front lot line. On corner lots, one dwelling unit may be oriented toward each front lot line resulting in units that are back-to-side in orientation. See Figure 3.1 (c). Dwelling units that are stacked one over the other or attached front to back in orientation are not permitted.

FIGURE 3.1 (c) Dwelling Unit Orientation Options



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11. Detached Triple Decker

A moderate floor plate, detached, residential building type with three vertically stacked dwelling units.

The following images are examples from Somerville of the detached triple decker building type and are intended only for illustrative purposes.

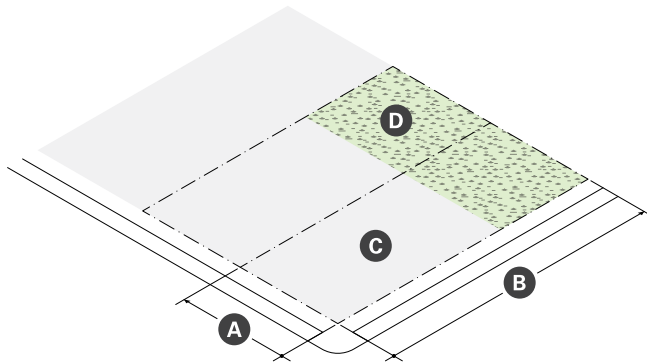


3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

7. Detached Triple Decker (continued)

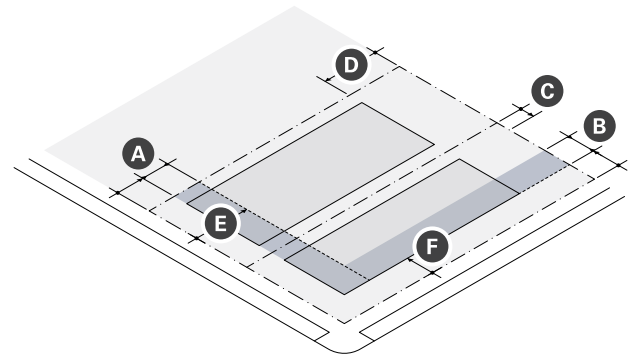
a. Lot Standards



Lot Dimensions	
A Width (min)	--
No Driveway Access	34 ft
Side or Rear Driveway Access	34 ft
Front Driveway Access	37 ft
B Depth (min)	80 ft

Lot Development	
C Lot Coverage (max)	60%
D Green Score	--
Minimum	0.35
Ideal	0.40

b. Building Placement



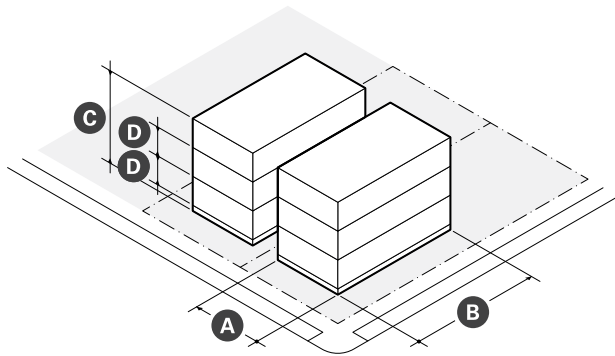
Building Setbacks		
A Primary Front Setback ¹ (min/max)	10 ft	20 ft
B Secondary Front Setback ¹ (min/max)	10 ft	20 ft
C Side Setback (min)	0 ft	
C Sum of Side Setbacks (min)	10 ft	
D Rear Setback (min)	20 ft	

Parking Setbacks		
E Primary Front Setback (min)	20 ft	
F Secondary Front Setback (min)	10 ft	

¹ See §3.1.13.a Contextual Front Setbacks

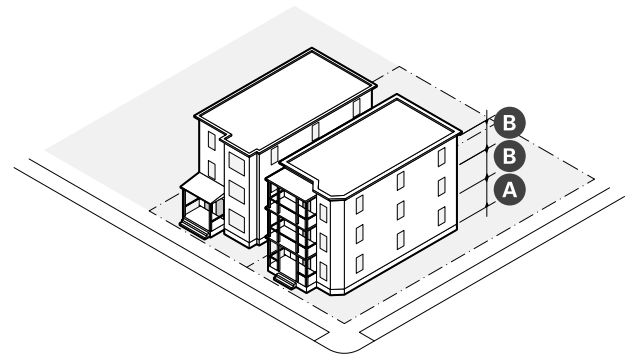
7. Detached Triple Decker (continued)

c. Massing & Height



Main Body	
Facade Build Out (min)	60%
A Width (min/max)	24 ft 30 ft
B Depth (min/max)	36 ft 50 ft
C Building Height (max)	3 stories
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Flat

d. Uses & Features



Facade Composition	
A Ground Story Fenestration (min/max)	20% 50%
B Upper Story Fenestration (min/max)	20% 50%

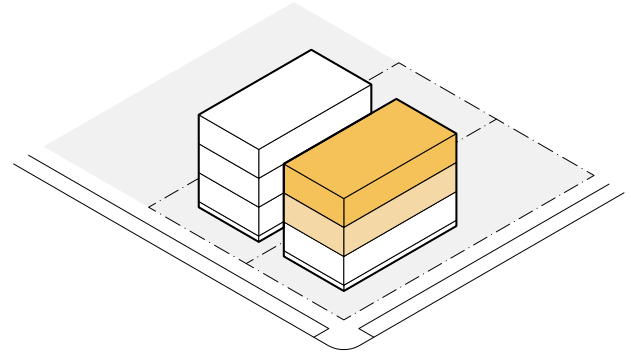
Use & Occupancy	
Dwelling Units per Lot (max)	3
Dwelling Units (max)	--
Household Living	3
Accessory Apartment	0
Outdoor Amenity Space (min)	1/ DU

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Neighborhood Residence (NR)

- e. Housing
 - i. There is no affordable housing requirement for a detached triple decker.
 - ii. The dwelling units within a detached triple decker building type must be, generally, stacked one over the other. Common examples are shown in Figure 3.2 (a). Dwelling units that are side-by-side or front-to-back in orientation are not permitted.

FIGURE 3.2 (a) Dwelling Unit Orientation



12. Carriage House

A small floor plate, detached, residential building type with one dwelling unit restricted in its use as an accessory apartment.

Garages, playhouses, workshops and other structures that are not in residential use are regulated according to Article 10: Development Standards of this Ordinance.

The following images are examples from Somerville of the carriage house outbuilding type and are intended only for illustrative purposes.



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Neighborhood Residence (NR)

7. Carriage House (continued)

a. Lot Standards

b. Building Placement

Lot Dimensions	
A Width (min)	--
No Driveway Access	34 ft
Side or Rear Driveway Access	34 ft
Front Driveway Access	37 ft
B Depth (min)	80 ft

Lot Development	
C Lot Coverage (max)	+10%
D Green Score (min)	--

Building Setbacks	
A Primary Front Setback (min)	60 ft
B Secondary Front Setback (min)	10 ft
C Side Setback (min)	3 ft
E Rear Setback (min)	3 ft
Alley	3 or 20 ft
No Alley	3 ft
E Distance from Principal Building (min)	10 ft

Parking Setbacks	
F Primary Front Setback (min)	20 ft
G Secondary Front Setback (min)	10 ft

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

Carriage House (continued)

c. Massing & Height

d. Uses & Features

Main Body	
Facade Build Out (min)	60%
A Width (min/max)	18 ft 36 ft
B Depth (min/max)	20 ft 30 ft
C Building Height (max)	2 stories
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	0 ft
Roof Type	Any

Facade Composition	
A Ground Story Fenestration (min/max)	20% 50%
B Upper Story Fenestration (min/max)	20% 50%

Use & Occupancy	
Dwelling Units per Lot (max)	per Principal Building
Dwelling Units (max)	--
Household Living	0
Accessory Apartment	1
Outdoor Amenity Space (min)	1/ DU

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Neighborhood Residence (NR)

- e. Housing
 - i. Residential occupancy of an accessory building type is permitted only in conjunction with a Household Living principal use on the same lot in accordance with §9.2.2.10.b Accessory Apartments.
- f. Design Standards
 - i. A three (3) foot wide paved walkway capable of allowing an ambulance cot to be wheeled to and from the carriage house is required.
 - ii. Utility services for the carriage house must be buried underground.
 - iii. Carriage houses must have an AUTOMATIC SPRINKLER SYSTEM unless they are on a corner lot, a lot with a driveway leading to the carriage house, or a lot abutting an alley.

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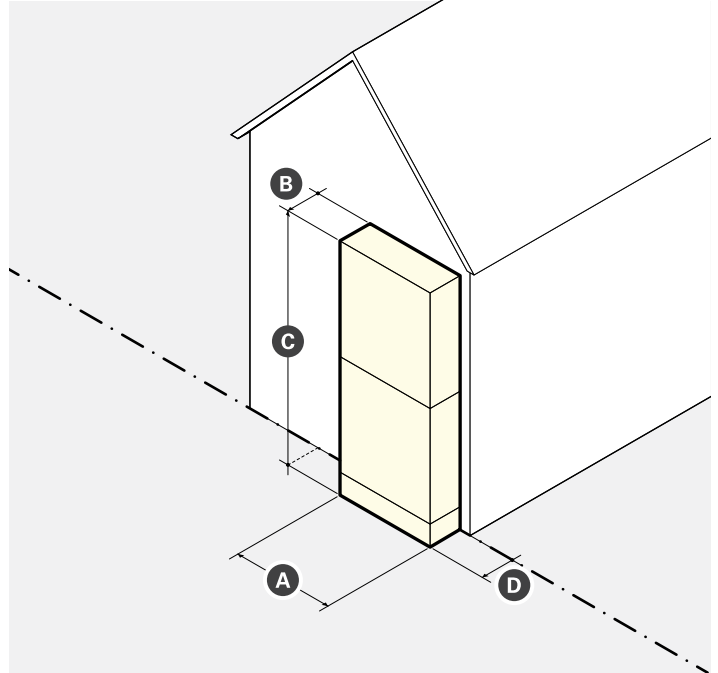
Neighborhood Residence (NR)

13. Building Components

- a. Building components are accessory elements attached to the main mass of a principal building.
- b. The following building components are permitted for all building types in the Neighborhood Residence district:
 - i. Bay
 - ii. Entry Canopy
 - iii. Stoop
 - iv. Portico
 - v. Porch
 - vi. Engaged Porch
 - vii. Window Dormer
 - viii. Shed Dormer
 - ix. Cross Gable
 - x. Projecting Gable
 - xi. Side Wing
 - xii. Rear Addition
- c. Building components not expressly authorized are prohibited.
- d. Unless otherwise specified, building components may attach to other building components to create assemblies of components.

E. Bay Window

- i. A bay window is an assembly of multiple windows that projects from a building to provide additional habitable space, increased light, multi-directional views, and articulation to an exterior wall.



Dimensions	
A Width (max)	16 ft
B Projection (max)	3 ft
C Height (max)	Height of Building in Stories
D Setback Encroachment (max)	--
Front	3 ft
Side	0 ft
Rear	0 ft
Fenestration (min)	60%

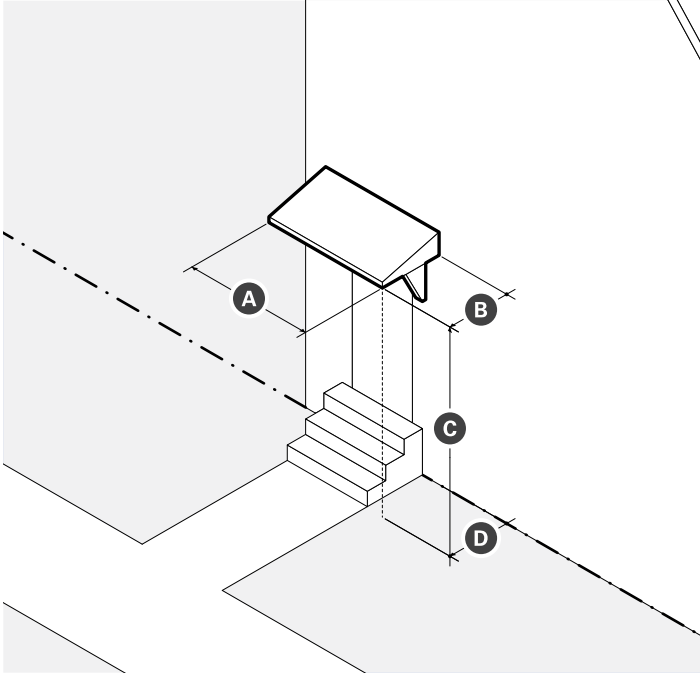
- ii. Standards
 - a). The cumulative width of multiple bays may equal up to fifty percent (50%) of the exterior wall from which the bays project.
 - b). Bays projecting over the sidewalk of a public thoroughfare must have at least two (2) stories of clearance and be compliant with all City Ordinances.

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

F. Entry Canopy

- i. An entry canopy is a wall-mounted structure that provides shade and weather protection over the entrance of a building.

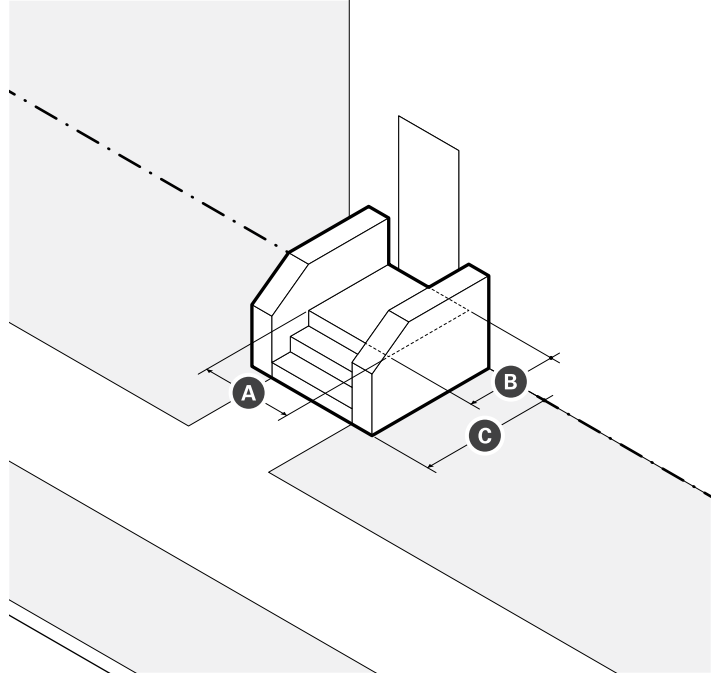


Dimensions	
A Width (min)	See §3.1.11.D.ii.b
B Projection (max)	3 ft
C Clearance (min)	7 ft
D Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

- ii. Standards
 - a). Entry canopies must be visually supported by brackets, cables, or rods.
 - b). The width of an entry canopy must be equal to or greater than the width of the doorway surround, trim, or exterior casing it is mounted above.

G. Stoop

- i. A stoop is a set of stairs with a landing that provides access to the entrance of a building.



Dimensions	
A Landing Width (min)	4 ft
B Landing Depth (min)	4 ft
C Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

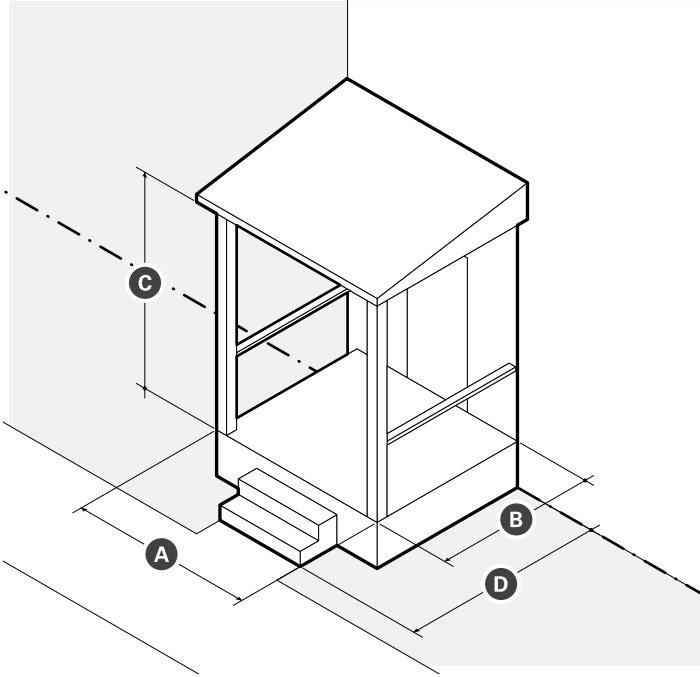
- ii. Standards
 - a). Stairs may be recessed into the building facade when the building is setback four (4) feet or less.
 - b). Stairs are not permitted to encroach onto any abutting sidewalk.
 - c). Stairs may be built perpendicular or parallel to the building facade, but must lead directly to ground level or an abutting sidewalk.

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

H. Portico

- i. A portico is a raised platform with a roof supported by columns, piers, or posts and set of stairs with a landing that provides access to the entrance of a building.

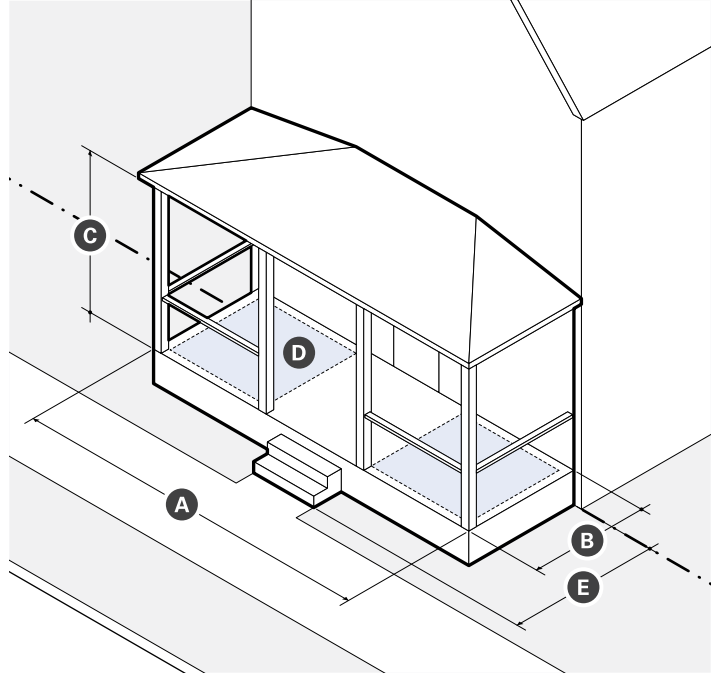


Dimensions	
A Landing Width (min)	4 ft
B Landing Depth (max)	4 ft
C Clearance (min)	7 ft
D Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

- ii. Standards
 - a). Stairs are not permitted to encroach onto any abutting sidewalk.
 - b). Stairs may be built perpendicular or parallel to the building facade, but must lead directly to ground level or an abutting sidewalk.

I. Porch

- i. A porch is a wide, raised platform with a roof supported by columns, piers, or posts; an area for seating; and set of stairs with a landing that provides access to the entrance of a building.



Dimensions	
A Width (min)	10' or 50% of facade width, whichever is greater
B Projection (min)	6 ft
C Clearance (min)	7 ft
D Furniture Area, Clear (min)	6 ft x 6 ft
D Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

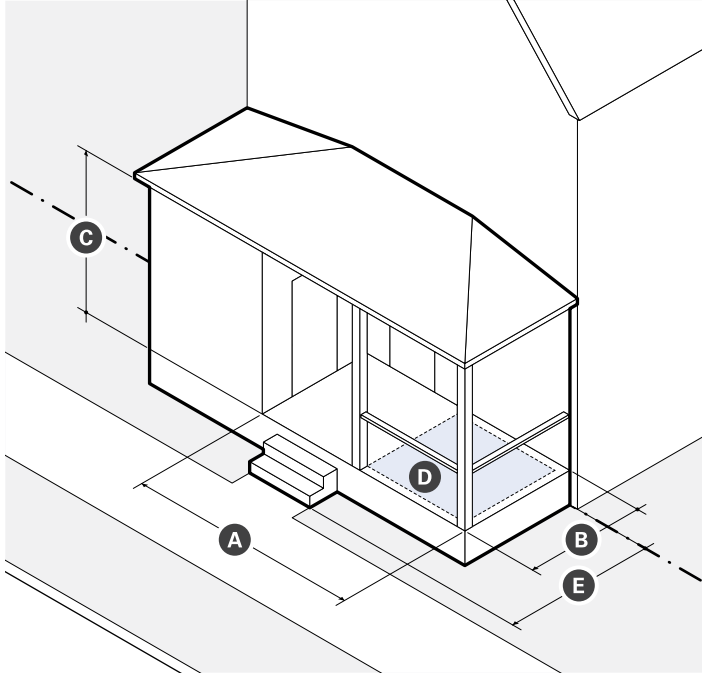
- ii. Standards
 - a). Stairs are not permitted to encroach onto any abutting sidewalk.
 - b). Porch railings must permit visual supervision of the public realm through the posts and rails.
 - c). A porch may be screened provided the percentage of window area to wall area is seventy percent (70%) or greater. Permanent enclosure of a porch to create year-round living space is not permitted.

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

J. Engaged Porch

- i. An engaged porch is a porch attached to a building at two sides, one to the facade and the other to a mud room or entry foyer encroaching the front setback.

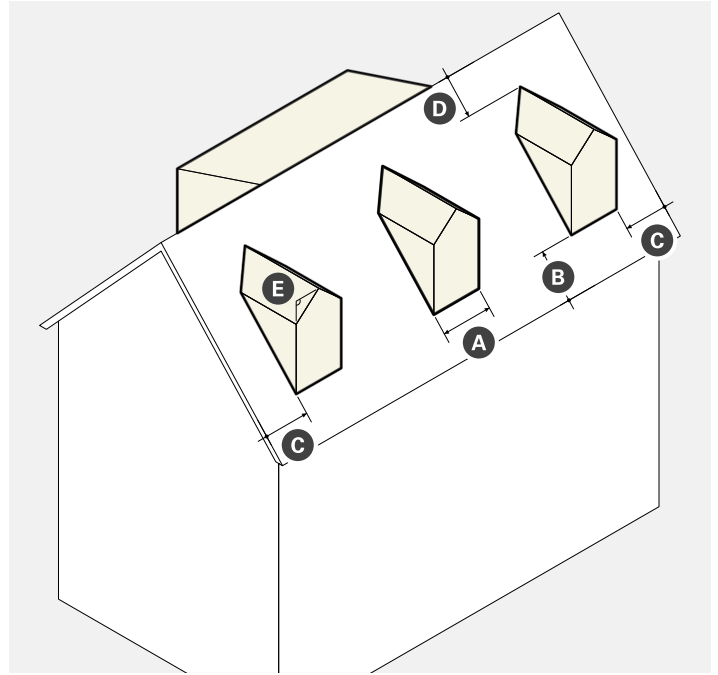


Dimensions	
A Width (min)	10' or 50% of facade width, whichever is greater
B Depth (min)	6 ft
C Clearance (min)	8 ft
D Furniture Area, Clear (min)	6 ft x 6 ft
E Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

- ii. Standards
 - a). Stairs are not permitted to encroach onto any abutting sidewalk.
 - b). Porch railings must permit visual supervision of the public realm through the posts and rails.
 - c). A porch may be screened provided that the percentage of window area to wall area is seventy percent (70%) or greater. Permanent enclosure of a porch to create year-round living space is not permitted.

K. Dormer

- i. A dormer is a window space with a gable, hip, or arched roof that projects perpendicularly from a pitched roof below. Dormer windows provide light to the habitable space of a half-story.

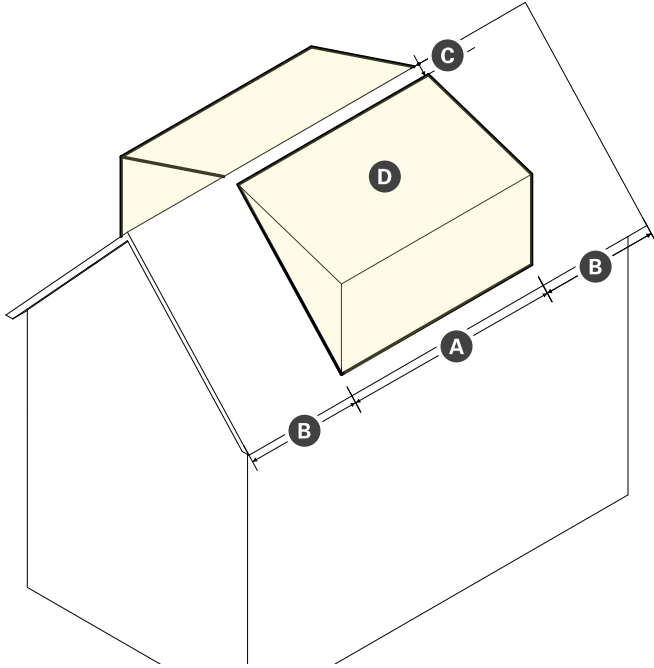


Dimensions	
A Width (max)	window(s) width + 18 in
Side Wall Setback (min)	--
Roof with eave	0 ft
Roof without eave	1 ft
B Front & Rear Wall Setback (min)	3 ft
C Ridge Setback (min)	1 ft
D Roof Slope (min)	4:12 (18.43°)
E Dormer Separation (min)	50% of dormer width

- ii. Standards
 - a). The face wall of a dormer window may not project beyond the exterior wall of the building and may not interrupt the eave of the roof.
 - b). Dormer windows may be combined with a shed dormer(s) to create a Nantucket dormer.
 - c). The cumulative width of a single, multiple, or attached combinations of dormers may equal up to fifty percent (50%) of the eave length of the roof below.

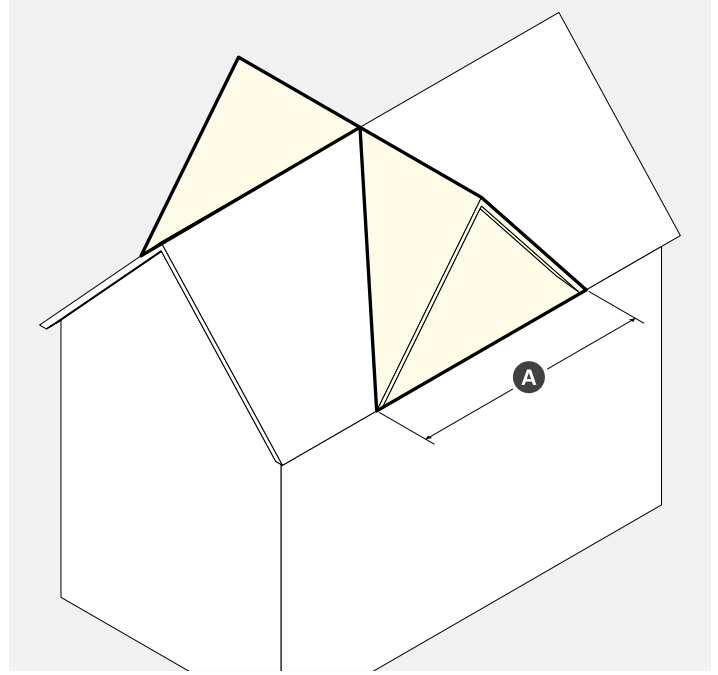
L. Shed Dormer

- i. A shed dormer is window space with a shed roof that projects perpendicularly from a pitched roof below. Shed dormers provide light and additional habitable space to a half-story.



M. Cross Gable

- i. A cross gable is a sloped roof that projects perpendicularly from the roof of a building to provide significant additional habitable space to a half-story.



Dimensions	
A Width (max)	window(s) width + 36 in
Side Wall Setback (min)	--
Roof with eave	0 ft
Roof without eave	1 ft
B Front & Rear Wall Setback (min)	3 ft
C Ridge Setback (min)	1 ft
D Roof Slope (min)	4:12 (18.43°)
E Dormer Separation (min)	50% of dormer width

- ii. Standards
 - a). The face wall of a shed dormer may not project beyond the exterior wall of the building and may not interrupt the eave of the roof.
 - b). Shed dormers may be combined with a dormer window(s) to create a Nantucket dormer.
 - c). The cumulative width of a single, multiple, or attached combinations of dormers may equal up to fifty percent (50%) of the eave length of the roof below.

Dimensions	
A Width (max)	Equal to the width of the facade or side wall of the building, which ever is less
Fenestration (min)	20%

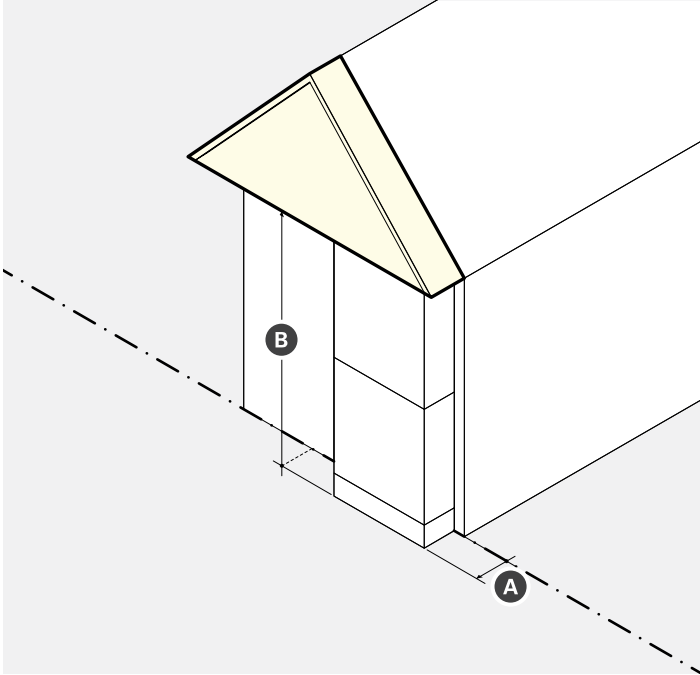
- ii. Standards
 - a). The ridge and eave of the cross gable must be structurally integrated into the ridge and eave of the attached roof.
 - b). Cross gables never have cheek walls.

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

N. Projecting Gable

- i. A projecting gable is an extension of the wall enclosing a pitched roof that expands the size of an attic or the habitable space of a half-story.

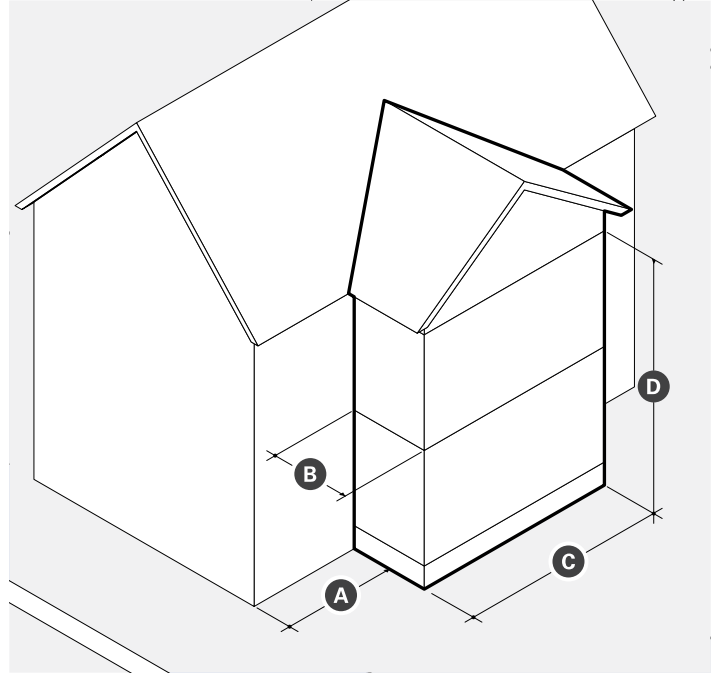


Dimensions	
A Front Setback Encroachment (max)	Same as the furthest projecting Bay or Porch
B Clearance (min)	Height of Building in Stories

- ii. Standards
 - a). A projecting gable may extend only forward of the facade of a building.
 - b). A projecting gable is permitted only when a Bay or Porch is also present.

O. Side Wing

- i. A side wing is a multi-story extension from one or more side walls of a building.

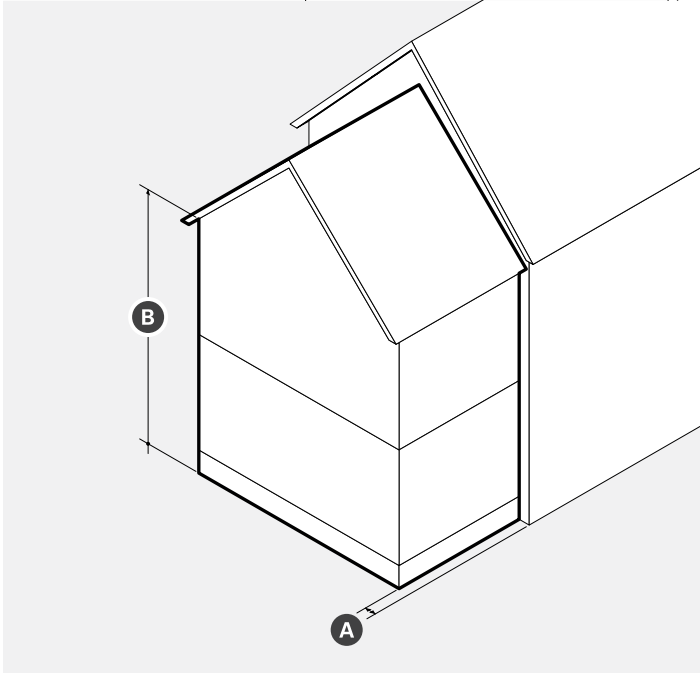


Dimensions	
A Setback from Facade (min)	5 ft
B Width (max)	1/2 of Main Body Width
C Depth (max)	100% of Main Body Width
D Height (max)	Same as Principal Building
E Setback Encroachment (max)	--
Front	0 ft
Side	0 ft
Rear	0 ft

- ii. Standards
 - a). Side wings must include a similarly style roof as the Principal Building.

P. Rear Addition

- i. A rear addition is an extension from the rear wall of a building.



Dimensions	
A Setback from Exterior Side Walls (min)	1 ft
Floor Plate (max)	50% of the Floor Plate of the Principal Building
B Height (max)	Two (2) Stories
E Setback Encroachment (max)	--
Front	0 ft
Side	0 ft
Rear	0 ft

- ii. Standards
 - a). A rear addition may extend only backward from the rear of a building.
 - b). The slope of any pitched roof of a rear addition must be equal to or less than slope of the roof of the main body of the building and no less than nine and one-half degrees (9.5°; 2:12).

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

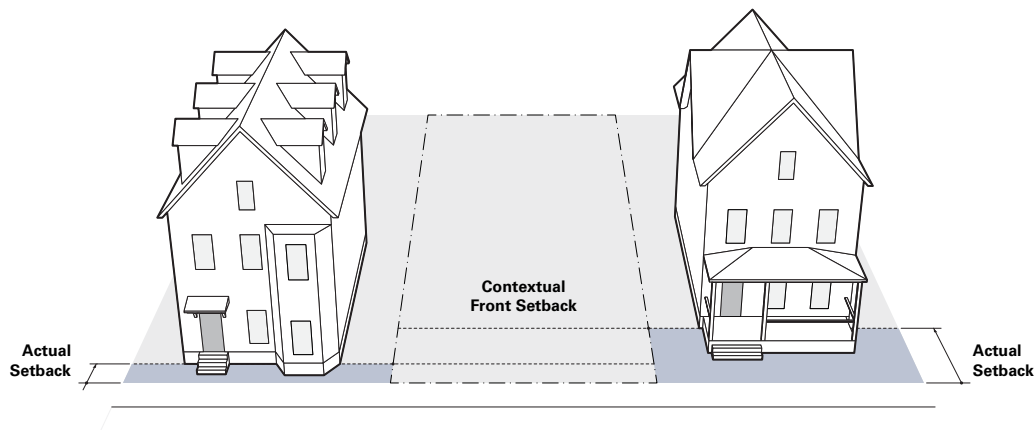
14. Building Design Standards

- a. Contextual Front Setbacks
 - i. Notwithstanding the front setbacks identified for each building type, new construction must have a contextual front setback as follows:
 - a). If the subject lot is an interior lot or key lot, the minimum and maximum front setbacks are equal to the actual distances that principal structures are setback from the front lot line on the two abutting lots of the same block face. See Figure 3.1 (a).
 - b). If the subject lot is a corner lot, the minimum front setback is equal to the actual distance that the principal structure is setback from the front lot line on the abutting lot that is oriented toward the same thoroughfare.
 - c). If the lot on either side of the subject lot is vacant, the minimum and maximum front setback identified for each building type governs.
 - ii. The contextual front setback provision does not exempt any building from complying with the maximum front setback required for each building type.

15. Architectural Design Guidelines

- a. Privacy
 - i. Ground story dwelling units should be elevated above the grade of any adjacent sidewalk so that the window sills of dwelling unit are at or above the eye-level of passing pedestrians. This elevation change maintains privacy for occupants while also encouraging open blinds or curtains to allow natural daylight into the unit.
 - ii. Dormer and sidewall window locations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
 - iii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.

FIGURE 3.1 (a) Contextual Front Setback



16. Use Provisions

- a. General
 - i. The use of real property is subject to the provisions of Article 9: Use Provisions of this Ordinance. Where the provisions of this section conflict with those of Article 9, the provisions of Article 9 apply.
 - ii. Uses are permitted as specified on Table 3.1 (a).
 - iii. Use categories not expressly authorized are prohibited.
 - iv. All uses must comply with any use-specific standards applicable for each use in §9.2 Use Definitions & Limitations.
 - v. Uses permitted by Special Permit require additional development review in accordance with §15.2.1 Special Permits.
- b. Adaptive Re-Use of Specific Buildings
 - i. The use of any principal structure constructed before the effective date of this Ordinance for a non-residential use that is considered nonconforming in the Neighborhood Residence district, as established by permit records or other historical documents accepted by the Building Official, or any building used for municipal operations by the City of Somerville may be changed to any use within the following principal use categories in accordance with Table 3.1 (a):
 - a). Artisan Production;
 - b). Arts Sales & Services;
 - c). Design Services;
 - d). Shared Workspace & Arts Education;
 - e). Consumer Goods; or
 - f). Fresh Food Market or Grocery.

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

TABLE 3.1 (a) NR Permitted Uses

Use Category Specific Use	NR	Use Specific Standards
Arts & Creative Enterprise		
Artisan Production	SP	§3.1.15.b & §9.2.2.a
Arts Sales & Service	SP	§3.1.15.b & §9.2.2.c
Design Services	SP	§3.1.15.b & §9.2.2.e
Shared Workspaces & Arts Education	SP	§3.1.15.b & §9.2.2.g
Auto-Oriented		
Motor Vehicle Parking (as noted below)	--	§9.2.3.d
Off-Site Accessory Parking	SP	§9.2.3.d.i
Civic & Institutional		
Minor Utility Facility	SP	§9.2.4.d
Religious & Educational Uses Protected by M.G.L. 40A. Sec. 3	P	§9.2.4.i
Commercial Services		
Day Care Service (as noted below)	--	§9.2.5.h
Child Day Care Center	P	§9.2.5.h.ii
Lodging		
Bed & Breakfast	SP	§9.2.8.a
Residential		
Household Living	P	§9.2.10.a
Group Living (except as follows)	SP	§9.2.10.b
Community or Group Residence	P	§9.2.10.b.i
Dormitory or Chapter House	N	§9.2.10.b.ii
Homeless Shelter	N	§9.2.10.b.iii
Nursing Home/Assisted Living Facility	N	§9.2.10.b.iv
Rooming House	N	§9.2.10.b.v
Retail Sales		
Consumer Goods (except as follows)	P	§3.1.15.b and §9.2.11.b
Alcohol Sales	N	§9.2.11.b.i
Drug Paraphernalia Store	N	§9.2.11.b.ii
Firearms Sales	N	§9.2.11.b.iii
Medical Marijuana	N	§9.2.11.b.iv
Pet Store	N	§9.2.11.b.v
Fresh Food Market or Grocery Store	P	§9.2.11.d

P - Permitted SP - Special Permit Required N - Not Permitted

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

TABLE 3.1 (a) NR Permitted Uses (continued)

Use Category Specific Use	NR	Use Specific Standards
Urban Agriculture		
Farming (as noted below)	--	§9.2.12.a
Commercial Farm	N	§9.2.12.a.i
Community Farm	P	§9.2.12.a.ii
Community Gardening	P	§9.2.12.b
Accessory Uses		
Accessory Apartment	SP	§9.2.13.b
Home Occupations (as noted below)	--	§9.2.13.c
Creative Studio	P	§9.2.13.c.ii
Hobby Kennel	SP	§9.2.13.c.iii
Home-Based Business	P	§9.2.13.c.iv
Home-Based Day Care	SP	§9.2.13.c.v
Home Office	P	§9.2.13.c.vi
Urban Agriculture (as noted below)	--	§9.2.13.d
Apiculture	P	§9.2.13.d.i
Aviculture	P	§9.2.13.d.ii
Commercial Farming	P	§9.2.13.d.iii
Residential Gardening	P	§9.2.13.d.iv
Vehicle Parking, Accessory (except as follows)	P	§9.2.13.e
Home-Based Business Vehicle Parking	SP	§9.2.13.e.i

P - Permitted SP - Special Permit Required N - Not Permitted

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

17. Development Standards

- a. General
 - i. Development is subject the provisions of Article 10: Development Standards of this Ordinance. Where the provisions of this section conflict with those of Article 10, the provisions of Article 10 apply.
- b. Signs
 - i. A sign, individual numerals or letters, or a nonelectrical nameplate identifying the property address is required for all real property as follows:
 - a). Each ground story non-residential use must identify the street address either on the principal entrance door or above or beside the principal entrance of the use.
 - b). All residential building types must identify the street address either on the principal entrance door, above or beside the principal entrance, or on a mailbox.
 - ii. Address signs must be made easily visible through the use of colors or materials that contrast with the background material they are attached to and must be conspicuously located to provide visibility from the thoroughfare that the building faces.
 - iii. Address signs must be twelve (12) inches or less in height and may include the name of the occupant.

18. Vehicular Parking

- a. General
 - i. Development is subject the provisions of Article 11 Parking & Mobility of this Ordinance. Where the provisions of this section conflict with those of Article 11, the provisions of Article 11 apply.
 - ii. Vehicular parking must be provided as specified on Table 3.1 (b), except as follows:
 - a). Non-residential uses with five thousand (5,000) square feet or less of GROSS LEASABLE FLOOR AREA are exempt from any minimum requirements of Table 3.1 (b).
 - iii. There are no parking requirements for accessory uses.
 - iv. Parking may be shared between uses on the same lot and buildings on the same block in accordance with §11.3 Shared Parking.
 - v. One (1) on street parking space for every twenty (20) feet of lot width may be counted toward any minimum parking requirement if residential permit parking is permitted along the same side of the street as the lot that the spaces will serve.
- b. Type
 - i. Motor vehicle parking may be provided as surface parking spaces, above ground structured parking, underground structured parking, and on street parking spaces.

TABLE 3.1 (b) NR Parking

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area ¹ (max)	Outside of a Transit Area ¹ (min)
Arts & Creative Enterprise Uses				
All Permitted Uses	1.0 / 10,000 sf	1.0 / 3,000 sf	none	1.0 / 1,000 sf
Civic & Institutional				
Religious & Educational Uses Protected by M.G.L. 40A. Sec. 3	–	–	–	–
Lodging Uses				
Bed & Breakfast	1.0 / 20 rooms	1.0 / 10 rooms	none	1 / 4 rooms
Residential Uses				
All Permitted Uses	none	none	none	1 / DU
Retail Sales Uses				
All Permitted Uses	1.0 / 2,500 sf	1.0 / 10,000 sf	none	1 / 1,500 sf

sf - Gross Leasable Square Footage

DU - Dwelling Unit

RU - Rooming Unit

¹ See the Transit Area Map

3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

- c. Driveways
 - i. New driveways require a permit from the City Engineer.
 - ii. Driveways must be compliant with all City Ordinances and constructed in accordance with all standards established by relevant City departments.
 - iii. Driveways are not permitted in the frontage area between a building and the front lot line.
 - iv. Driveways may be no wider than twelve (12) feet in the frontage area of a lot.
 - v. Driveways may provide access in whole or in part on or across an abutting lot(s), provided that an access easement exists between all property owners.
 - vi. New driveways should accommodate at least two (2) motor vehicles for every one (1) on-street parking space that will be removed as a result of the new driveway.
 - vii. Ribbon driveways and permeable driveways are highly encouraged. See Figure 3.1 (b) for examples.
- d. Parking Design
 - i. The design of all parking is subject to §11.1 Bicycle Parking and §11.2 Motor Vehicle Parking of this Ordinance.
- e. Parking Location
 - i. Required vehicular parking, excluding any required handicapped parking, may be provided on a contiguous lot under the same ownership as the lot that the parking will serve as follows:
 - a). Pedestrian access to off-site vehicular parking must be via a paved sidewalk or walkway.
 - b). A lease, recorded covenant, or other comparable legal instrument guaranteeing long term use of the site must be provided to the review board or building official and executed and filed with the Registry of Deeds.
 - ii. For real property located in more than one municipality, motor vehicle parking need not be located within the City of Somerville.
- f. Unbundled Parking
 - i. Motor vehicle parking spaces must be rented or leased as an option rather than a requirement of the rental, lease, or purchase of a dwelling unit or non-residential floor space.
 - ii. Bicycle parking must be provided at no cost or fee to customers, visitors, employees, tenants, and residents.
- g. Parking Relief
 - i. Relief from the parking standards of Table 3.1 (d) requires a Special Permit.
 - a). In its discretion to approve or deny a special permit authorizing relief from the parking standards of Table 3.2 (d), the review board shall consider, at least, the following:
 - i). The supply and demand of on-street parking in the neighborhood, as determined through a parking study.
 - ii). Mobility management programs and services provided by the applicant to reduce the demand for parking.
 - iii). That parking provided in excess of any

FIGURE 3.1 (b) Example Driveways



3. RESIDENTIAL DISTRICTS

Neighborhood Residence (NR)

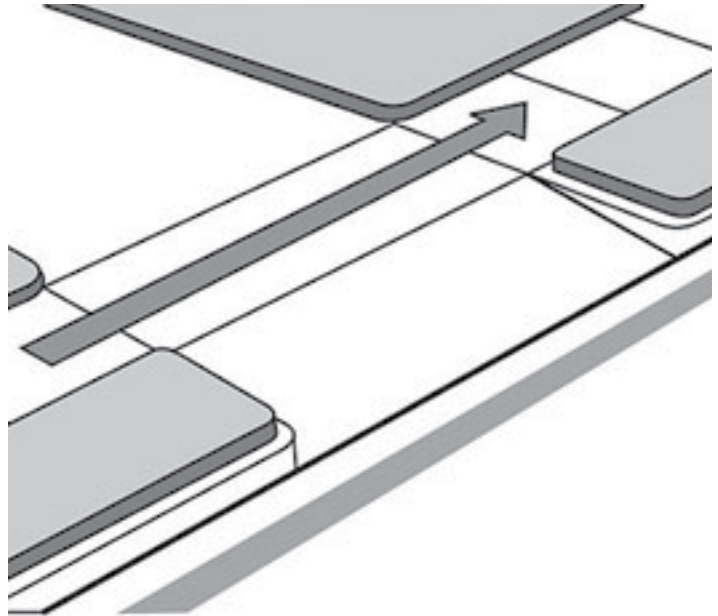
maximum permitted does not result in the increase in impervious lot area.

19. Public Realm

a. Sidewalk Curb Cuts

- i. A curb cut requires a permit from the City Engineer and must be compliant with all City Ordinances.
- ii. Unless otherwise specified, the City Engineer may not permit more than one (1) curb cut per front lot line of a lot.
- iii. Curb cuts are prohibited for all thoroughfares designated as a pedestrian street
- iv. Curb cuts must be located to minimize conflicts with pedestrians and bicyclists and must have a clear distance from fire hydrants, street trees, utility poles, and other furnishings as deemed necessary by the City Engineer.
 - a). Curb cuts for commercial or high-volume driveways should be at least one-hundred (100) feet from an unsignalized or signalized intersection.
 - b). Curb cuts for residential driveways should be at least twenty (20) feet from an unsignalized intersection and at least forty (40) feet from a signalized intersection.
- v. The interior width of a curb cut (between curb stones) may be no wider than the driveway, vehicular entrance, or loading facility it serves.
- vi. A driveway apron may be installed only within the furnishing zone of a sidewalk and must be constructed in accordance with all standards established by relevant City departments.
- vii. The grade, cross slope, and clear width of the walkway of a sidewalk must be maintained between the driveway apron and the abutting driveway. The appearance of the walkway (ie. scoring pattern or paving material) must indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.

FIGURE 3.1 (c) Sidewalk Curb Cuts



3.2 URBAN RESIDENCE (UR)

1. Character Description

The Urban Residence district is characterized by a variety of moderate floor plate, multi-unit buildings where outdoor amenity space is typically shared between the residents of a building. The district is almost entirely residential, with occasional neighborhood stores, schools, places of worship, and arts related uses on advantageous sites. This district can provide a transition between Neighborhood Residence and the Mid-Rise, High-Rise, and Commercial Districts when mapped accordingly.



3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

2. Intent

- a. To implement the Urban Residential context from the Future Land Context Map of SomerVision.
- b. To create, maintain, and enhance areas appropriate for multi-unit residential buildings.

3. Purpose

- a. To permit the development of multi-unit detached and semi-detached residential buildings on individual lots.
- b. To permit contextual modifications to existing detached and semi-detached residential buildings.
- c. To permit the adaptive reuse of certain existing nonconforming buildings for arts & creative enterprise and retail uses compatible with residential areas.

4. Applicability

- a. The section is applicable to all real property within the Urban Residence district as shown on the maps of the Official Zoning Atlas of the City of Somerville.

5. Development Review

- a. All development, excluding normal maintenance, requires the submittal of a development review application to the Building Official and the issuance of a Certificate of Zoning Compliance prior to the issuance of a Building Permit or Certificate of Occupancy.
- b. A pre-submittal meeting is recommended for all development.
- c. Proposed development may or may not necessitate the need for a Special Permit or a Variance based on the nature of the proposal. In such cases, additional development review is required in accordance with Article 15: Administration.
 - i. The Zoning Board of Appeals is the decision making authority for all development that requires a Special Permit or Variance in the Urban Residence district.
- d. Upon verification that no additional development review is necessary or completion of the required development review, the Building Official shall issue a Zoning Compliance Certificate to certify compliance with the provisions and procedures of this Ordinance.

6. Building Types

- a. One (1) principal building type may be built on each lot.
- b. The following principal building types are permitted in the Urban Residence district:
 - i. Semi-Detached Triple Decker
 - ii. Multi-Plex
 - iii. Apartment House
 - iv. Apartment Building
 - v. Row Houses
- c. Accessory structures are regulated according to Article 10: Development Standards of this Ordinance.

7. Semi-Detached Triple Decker

A moderate floor plate, semi-detached, residential building type with three vertically stacked dwelling units. A semi-detached triple decker must be attached on one side to another semi-detached triple decker by a party wall.

The following images are examples from Somerville of the semi-detached triple decker building type and are intended only for illustrative purposes.

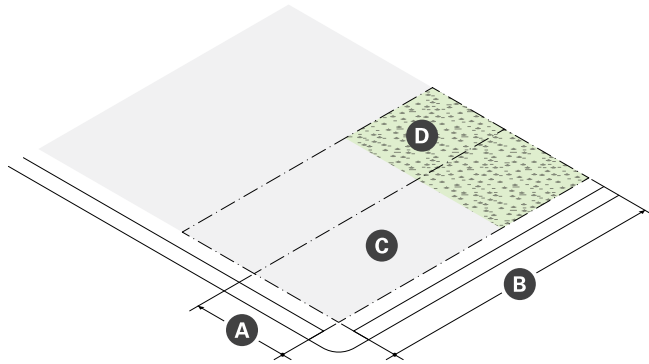


3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

7. Semi-Detached Triple Decker (continued)

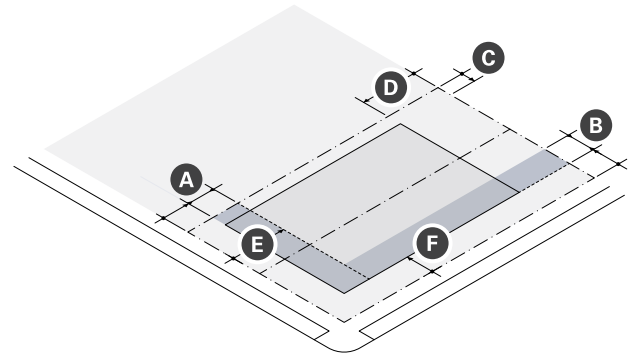
a. Lot Standards



Lot Dimensions	
A Width (min)	--
No Driveway Access	29 ft
Side or Rear Driveway Access	29 ft
Front Driveway Access	32 ft
B Depth (min)	80 ft

Lot Development	
C Lot Coverage (max)	65%
D Green Score	--
Minimum	0.35
Ideal	0.40

b. Building Placement



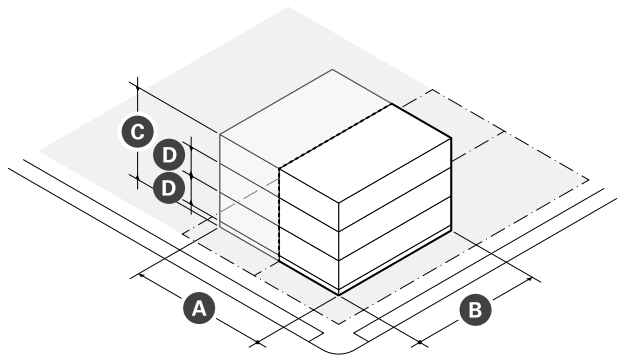
Building Setbacks		
A Primary Front Setback ¹ (min/max)	10 ft	20 ft
B Secondary Front Setback ¹ (min/max)	10 ft	20 ft
C Side Setback (min)		
Party Lot Line	0 ft	
Side Lot Line	5 ft	
D Rear Setback (min)	20 ft	

Parking Setbacks	
E Primary Front Setback (min)	20 ft
F Secondary Front Setback (min)	10 ft

¹ See §3.2.13.a Contextual Front Setbacks

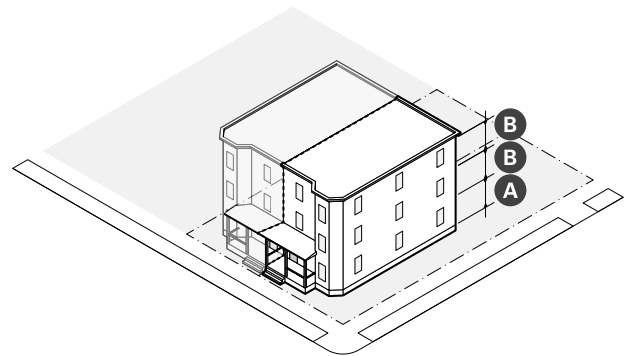
7. Semi-Detached Triple Decker (continued)

c. Massing & Height



Main Body	
Facade Build Out (min)	60%
A Width (min/max)	24 ft 30 ft
B Depth (min/max)	36 ft 50 ft
C Building Height (max)	3 stories
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Flat

d. Uses & Features



Facade Composition	
A Ground Story Fenestration (min/max)	20% 50%
B Upper Story Fenestration (min/max)	20% 50%

Use & Occupancy	
Dwelling Units per Lot (max)	3
Dwelling Units (max)	--
Household Living	3
Accessory Apartment	0
Outdoor Amenity Space (min)	1/ DU

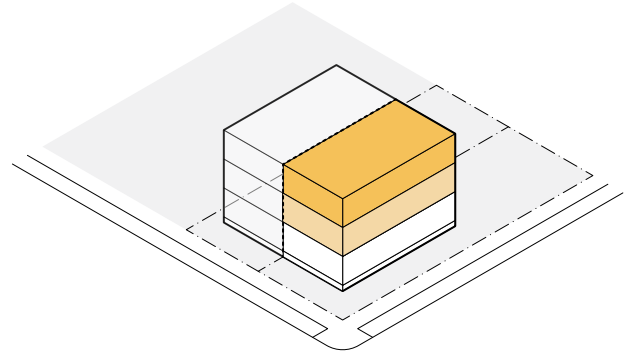
3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

7. Semi-Detached Triple Decker (continued)

- e. Housing
 - i. There is no affordable housing requirement for a semi-detached triple decker.
 - ii. The dwelling units of a semi-detached triple decker must be, generally, stacked one over the other. Common examples are shown in Figure 3.2 (b). Dwelling units that are side-by-side or front-to-back in orientation are not permitted.

FIGURE 3.2 (b) Dwelling Unit Orientation



3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

8. Multi-Plex

A moderate floor plate, detached, residential building type with four to six dwelling units.

The following images are examples from Somerville of the multi-plex building type and are intended only for illustrative purposes.

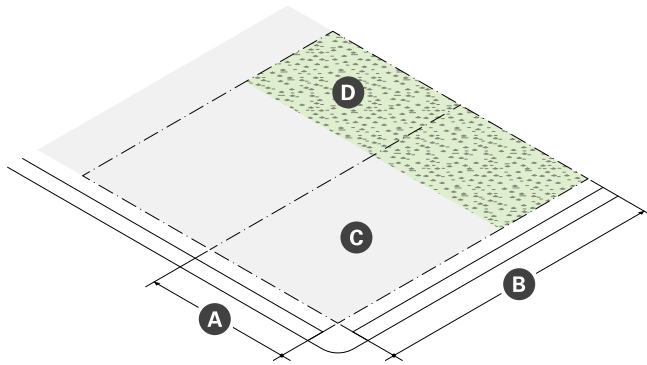


3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

8. Multi-Plex (continued)

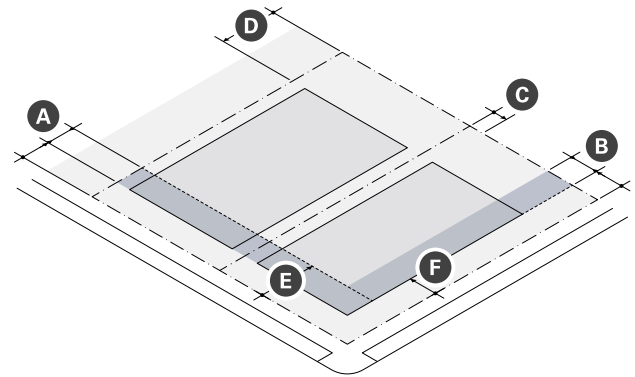
a. Lot Standards



Lot Dimensions	
A Width (min)	--
No Driveway Access	46 ft
Side or Rear Driveway Access	46 ft
Front Driveway Access	49 ft
B Depth (min)	85 ft

Lot Development	
C Lot Coverage (max)	65%
D Green Score	--
Minimum	0.35
Ideal	0.40

b. Building Placement



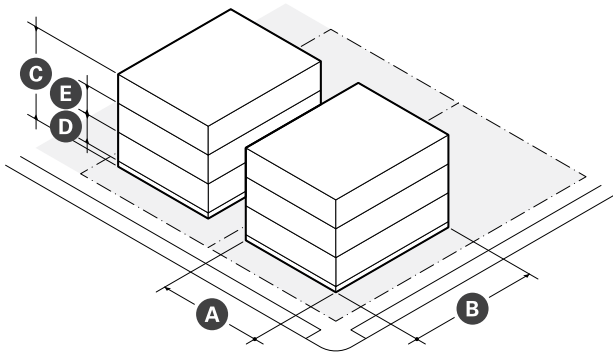
Building Setbacks		
A Primary Front Setback ¹ (min/max)	10 ft	20 ft
B Secondary Front Setback ¹ (min/max)	10 ft	20 ft
C Side Setback (min)	5 ft	
D Rear Setback (min)	20 ft	

Parking Setbacks	
E Primary Front Setback (min)	20 ft
F Secondary Front Setback (min)	10 ft

¹ See §3.2.13.a Contextual Front Setbacks

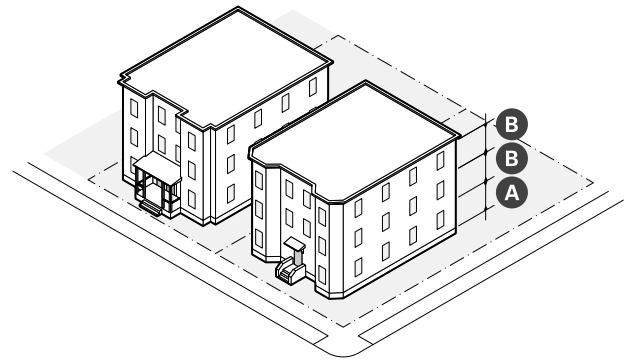
8. Multi-Plex (continued)

c. Massing & Height



Main Body	
Facade Build Out (min)	70%
A Width (min/max)	36 ft 50 ft
B Depth (min/max)	44 ft 64 ft
C Building Height (max)	3 stories
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Flat, Gable, Hip

d. Uses & Features



Facade Composition		
A Ground Story Fenestration (min/max)	20%	50%
C Upper Story Fenestration (min/max)	20%	50%

Use & Occupancy		
Dwelling Units (min/max)	4	6
Outdoor Amenity Space (min)	1/ DU	

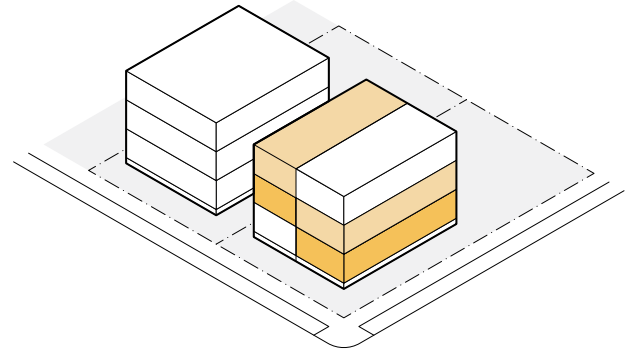
3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

8. Multi-Plex (continued)

- e. Housing
 - i. There is no affordable housing requirement for a multi-plex.
 - ii. The dwelling units of a multi-plex must be, generally, stacked one over the other. Common examples are shown in Figure 3.2 (c). Dwelling units that are front-to-back in orientation are not permitted.

FIGURE 3.2 (c) Dwelling Unit Orientation



9. Apartment House

A moderate floor plate, detached, residential building type with six to ten dwelling units designed to appear as a large house.

The following images are primarily examples from Somerville of the apartment house building type and are intended only for illustrative purposes.

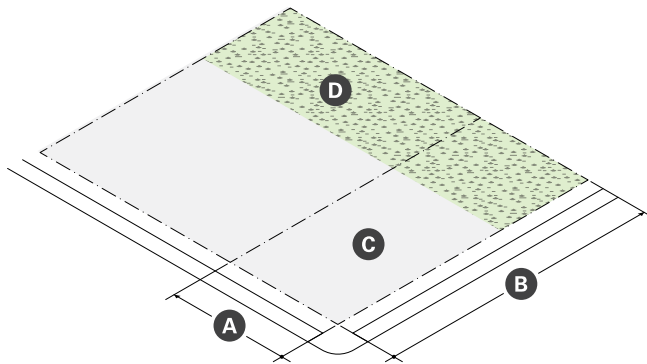


3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

9. Apartment House (continued)

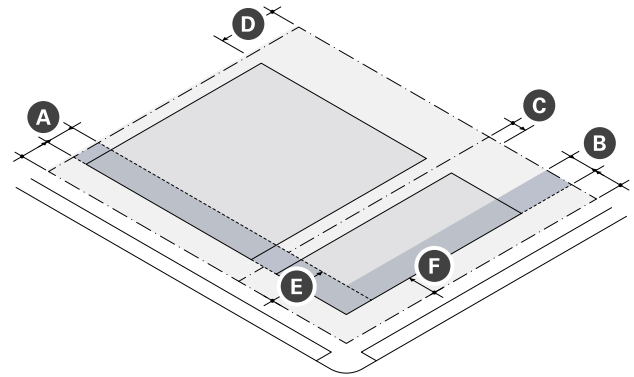
a. Lot Standards



Lot Dimensions	
A Width (min)	--
No Driveway Access	38 ft
Side or Rear Driveway Access	38 ft
Front Driveway Access	41 ft
B Depth (min)	100 ft

Lot Development	
C Lot Coverage (max)	65%
D Green Score	--
Minimum	0.35
Ideal	0.40

b. Building Placement



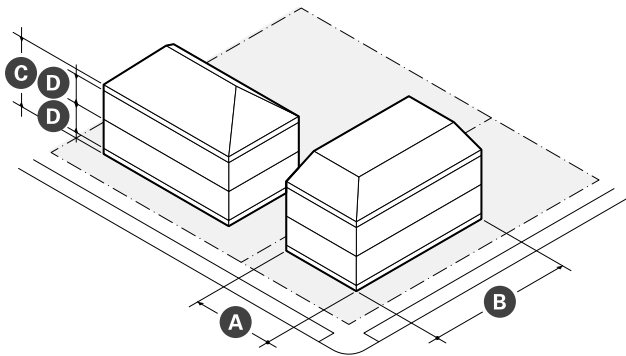
Building Setbacks		
A Primary Front Setback ¹ (min/max)	10 ft	20 ft
B Secondary Front Setback ¹ (min/max)	10 ft	20 ft
C Side Setback (min)	5 ft	
D Rear Setback (min)	20 ft	

Parking Setbacks	
E Primary Front Setback (min)	20 ft
F Secondary Front Setback (min)	10 ft

¹ See §3.2.13.a Contextual Front Setbacks

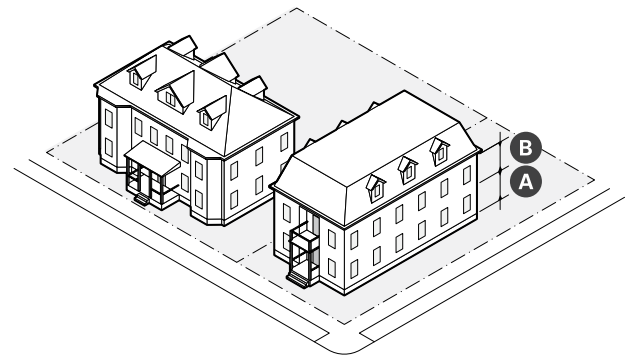
9. Apartment House (continued)

c. Massing & Height



Main Body	
Facade Build Out (min)	70%
A Width (min/max)	28 ft 56 ft
B Depth (min/max)	44 ft 68 ft
C Building Height (max)	2.5 stories
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Gable, Hip, Mansard

d. Uses & Features



Facade Composition		
A Ground Story Fenestration (min/max)	20%	50%
B Upper Story Fenestration (min/max)	20%	50%

Use & Occupancy		
Dwelling Units (min/max)	4	10
Outdoor Amenity Space (min)	1/ DU	

3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

9. Apartment House (continued)

- e. Housing
 - i. An apartment house, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.

10. Apartment Building

A moderate floorplate, multi-story building type with more than six dwelling units.

The following images are examples of the apartment building type and are intended only for illustrative purposes.

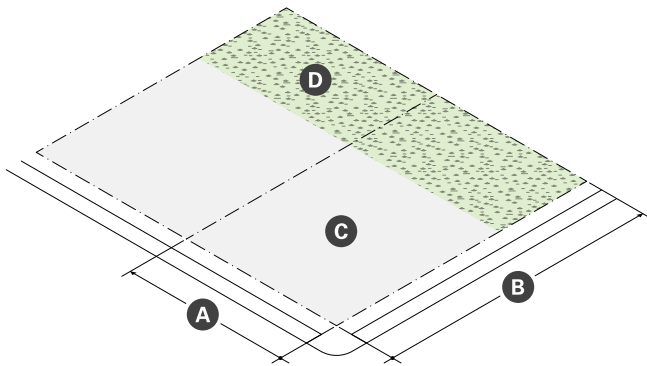


3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

10. Apartment Building (continued)

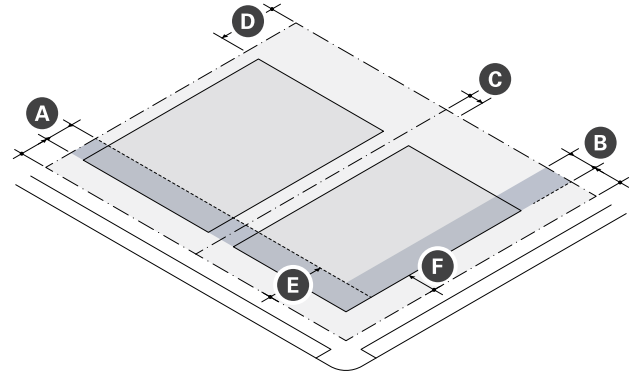
a. Lot Standards



Lot Dimensions	
A Width (min)	--
No Driveway Access	55 ft
Side or Rear Driveway Access	55 ft
Front Driveway Access	58 ft
B Depth (min)	90 ft

Lot Development	
C Lot Coverage (max)	65%
D Green Score	--
Minimum	0.35
Ideal	0.40

b. Building Placement



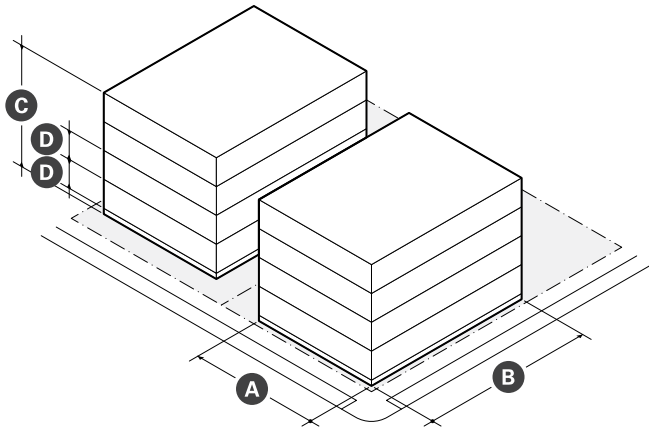
Building Setbacks		
A Primary Front Setback ¹ (min/max)	10 ft	20 ft
B Secondary Front Setback ¹ (min/max)	10 ft	20 ft
C Side Setback (min)	5 ft	
Side Setback Abutting NR (min)	20 ft	
D Rear Setback (min)	10 ft	
Rear Setback Abutting NR (min)	20 ft	

Parking Setbacks		
E Primary Front Setback (min)	--	
Surface Parking	20 ft	
Structured Parking	20 ft	
F Secondary Front Setback (min)	--	
Surface Parking	10 ft	
Structured Parking	10 ft	

¹ See §3.2.13.a Contextual Front Setbacks

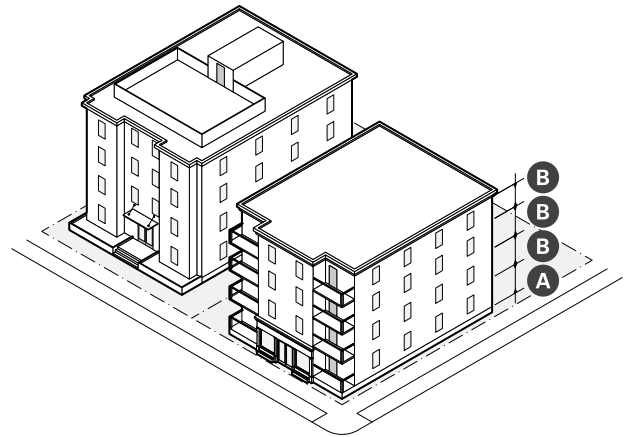
10. Apartment Building (continued)

c. Massing & Height



Main Body	
Facade Build Out (min)	80%
A Floor Plate (max)	--
with Forecourt Private Frontage Type	16,000 sf
all other Private Frontage Types	7,000 sf
B Building Height (min)	2 stories
C Building Height (max)	4 stories
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Flat, Mansard

d. Uses & Features



Facade Composition		
A Ground Story Fenestration (min/max)	20%	50%
B Upper Story Fenestration (min/max)	20%	50%

Use & Occupancy	
Dwelling Units (min)	
Gross Floor Area per DU	--
Lot Area < 5,000 sf	1,500
Lot Area >= 5,000 sf	1,125
100% Affordable Housing	875
Net Zero Energy Building	875
Outdoor Amenity Space (min)	1/DU

3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

11. Apartment Building (continued)

- e. Housing
 - i. Apartment buildings, whether established through new construction or the conversion of any other existing building type, must provide affordable housing in accordance with Article 12: Development Benefits.

11. Row Houses

A series of three (3) or more small floor plate, attached, residential buildings, each with one (1) dwelling unit.

The following images are examples from Somerville of the row houses building type and are intended only for illustrative purposes.

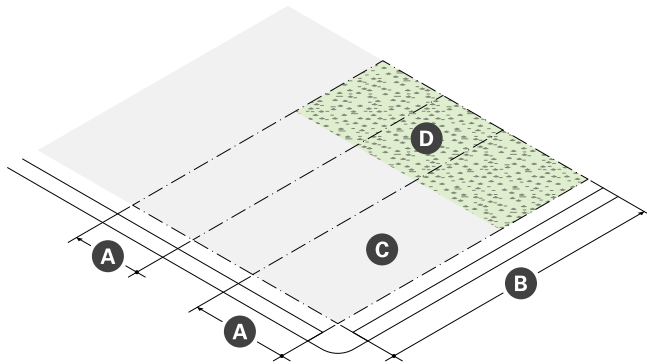


3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

12. Row Houses (continued)

a. Lot Standards

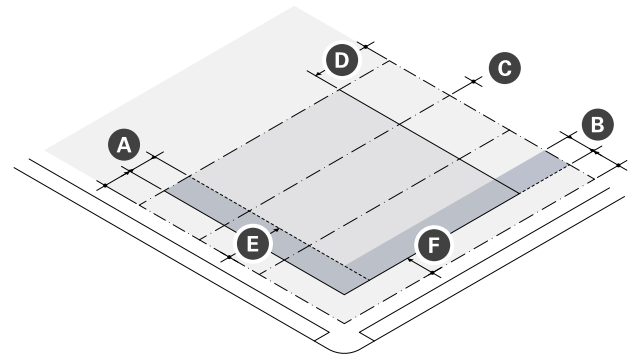


Site Dimensions	
Width (min/max)	82 ft 250 ft

Lot Dimensions	
A Width (min)	--
Interior Lot in Sequence	--
No Driveway Access	24 ft
End Lot in Sequence	--
No Driveway Access	29 ft
Side or Rear Driveway Access	29 ft
Front Driveway Access	32 ft
B Depth (min)	80 ft

Lot Development	
C Lot Coverage (max)	65%
D Green Score	--
Minimum	0.35
Ideal	0.40

b. Building Placement



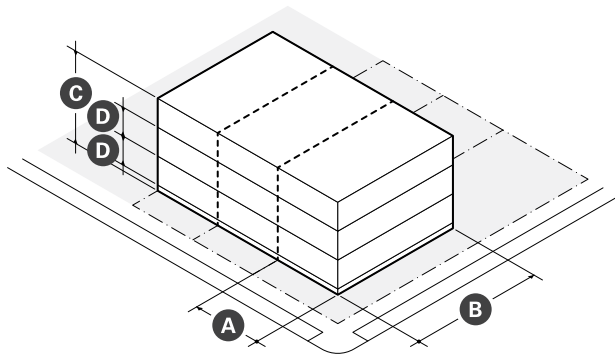
Building Setbacks		
A Primary Front Setback ¹ (min/max)	10 ft	20 ft
B Secondary Front Setback ¹ (min/max)	10 ft	20 ft
C Side Setback (min)	5 ft	
Party Lot Line	0 ft	
Side Lot Line	5 ft	
D Rear Setback (min)	20 ft	

Parking Setbacks		
E Primary Front Setback (min)	20 ft	
F Secondary Front Setback (min)	10 ft	

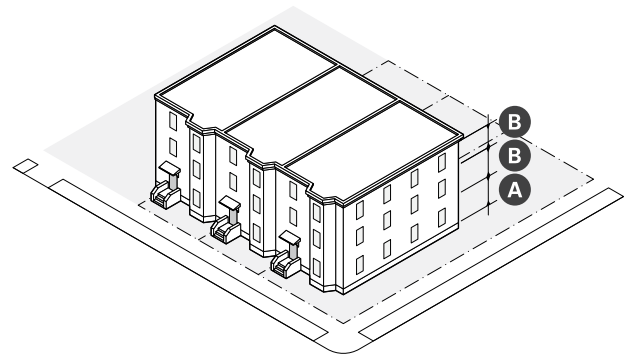
¹ See §3.2.13.a Contextual Front Setbacks

12. Row Houses (continued)

c. Massing & Height



d. Uses & Features



Main Body	
Facade Build Out (min)	70%
A Width per Rowhouse (min/max)	24 ft 30 ft
B Depth (min/max)	34 ft 60 ft
Rowhouses in Sequence (min/max)	3 10
C Building Height (min)	2 stories
Building Height (max)	3 stories
D Story Height (min/max)	10 ft 12 ft
Ground Floor Elevation (min)	2 ft
Roof Type	Flat, Gable, Mansard

Facade Composition	
A Ground Story Fenestration (min/max)	20% 50%
B Upper Story Fenestration (min/max)	20% 50%

Use & Occupancy	
Dwelling Units per Site (min/max)	3 10
Dwelling Units per Row House (max)	1
Outdoor Amenity Space (min)	1/ DU

3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

12. Row Houses (continued)

- e. Housing
 - i. Row houses must provide affordable housing in accordance with Article 12: Development Benefits.

12. Building Components

- a. Building components are accessory elements attached to the main mass of a principal building.
- b. Building components are permitted as specified on Table 3.2 (a).
- c. Building components not expressly authorized are prohibited.
- d. Unless otherwise specified, building components may attach to other building components to create assemblies of components.

TABLE 3.2 (a) Permitted Building Components

	Semi-Detached Triple Decker	Multi-Plex	Apartment House	Apartment Building	Rowhouses	Specific Standards
Entry Canopy	P	P	P	P	P	§3.2.12.e
Stoop	P	P	P	P	P	§3.2.12.f
Portico	P	P	P	P	P	§3.2.12.g
Projecting Porch	P	P	P	P	P	§3.2.12.h
Lobby Entrance	N	N	N	P	N	§3.2.12.i
Bay	P	P	P	P	P	§3.2.12.j
Balcony	P	P	P	P	P	§3.2.12.k
Dormer	N	Y	Y	N	Y	§3.2.12.l
Shed Dormer	N	Y	Y	N	N	§3.2.12.m
Cross Gable	N	Y	Y	N	N	§3.2.12.n

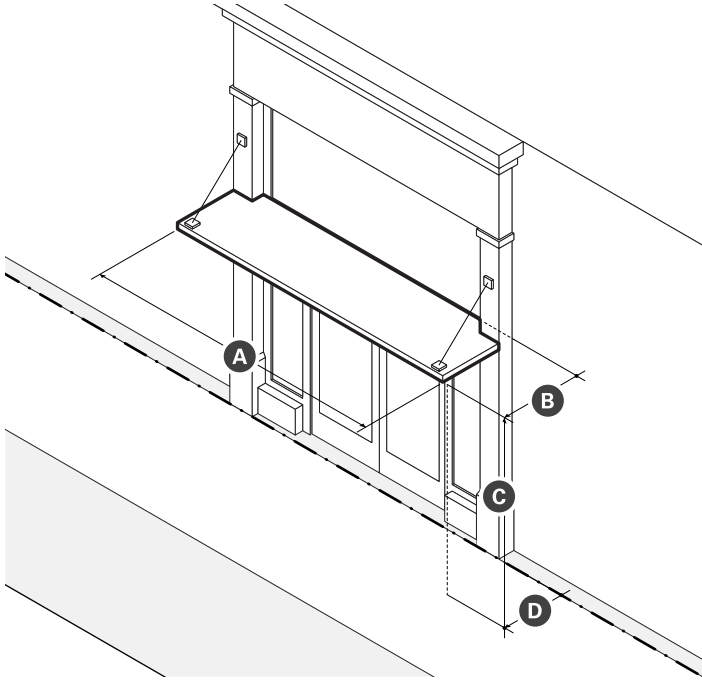
P - Permitted SP - Special Permit Required N - Not Permitted

3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

E. Entry Canopy

- i. An entry canopy is a wall-mounted structure that provides shade and weather protection over the entrance of a building.

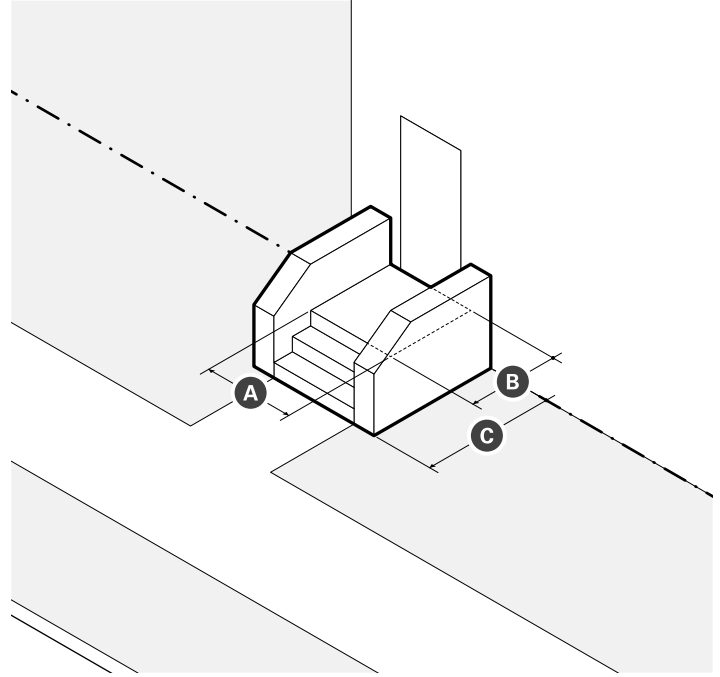


Dimensions	
A Width (min)	See §D.ii.b
B Depth (max)	3 ft
C Clearance (min)	8 ft clear
D Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

- ii. Standards
 - a). Entry canopies must be visually supported by brackets, cables, or rods.
 - b). The width of an entry canopy must be equal to or greater than the width of the doorway surround or exterior casing it is mounted over.

F. Stoop

- i. A stoop is a frontage type featuring a set of stairs with a landing leading to the entrance of a building.

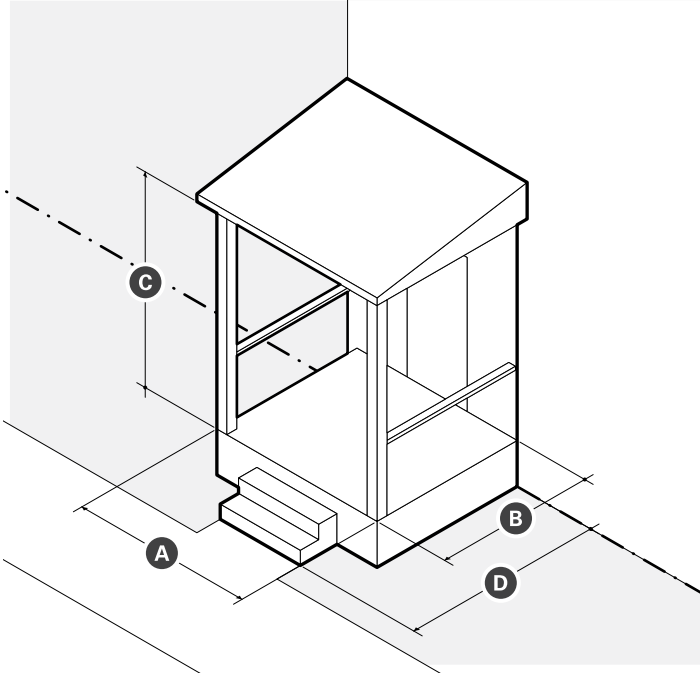


Dimensions	
A Landing Width (min)	4 ft
B Landing Depth (min)	4 ft
C Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

- ii. Standards
 - a). Stairs may be recessed into the building facade when the building is setback four (4) feet or less.
 - b). Stairs are not permitted to encroach onto any abutting sidewalk.
 - c). Stairs may be built perpendicular or parallel to the building facade, but must lead directly to ground level or an abutting sidewalk.

G. Portico

- i. A portico is a frontage type featuring a set of stairs with a landing leading to the entrance of a building and a roof supported by columns, piers, or posts.

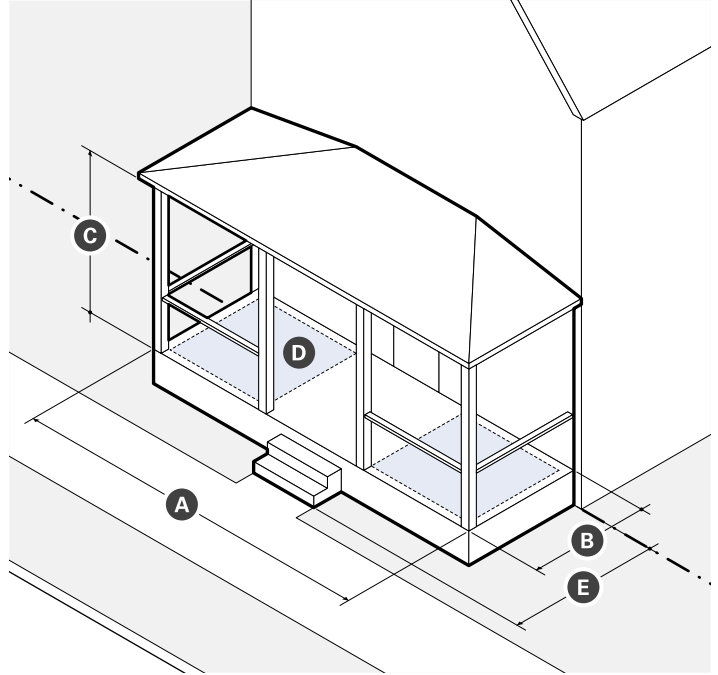


Dimensions	
A Landing Width (min)	4 ft
B Landing Depth (max)	4 ft
C Clearance (max)	8 ft
D Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

- ii. Standards
 - a). Stairs are not permitted to encroach onto any abutting sidewalk.
 - b). Stairs may be built perpendicular or parallel to the building facade, but must lead directly to ground level or an abutting sidewalk.

H. Projecting Porch

- i. A projecting porch is a frontage type featuring a set of stairs with a landing leading to the entrance of a building and a roof supported by columns, piers, or posts.



Dimensions	
A Width (min)	10' or 50% of facade width, whichever is greater
B Depth (min)	6 ft
C Clearance (min)	8 ft
D Furniture Area, Clear (min)	6 ft x 6 ft
E Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

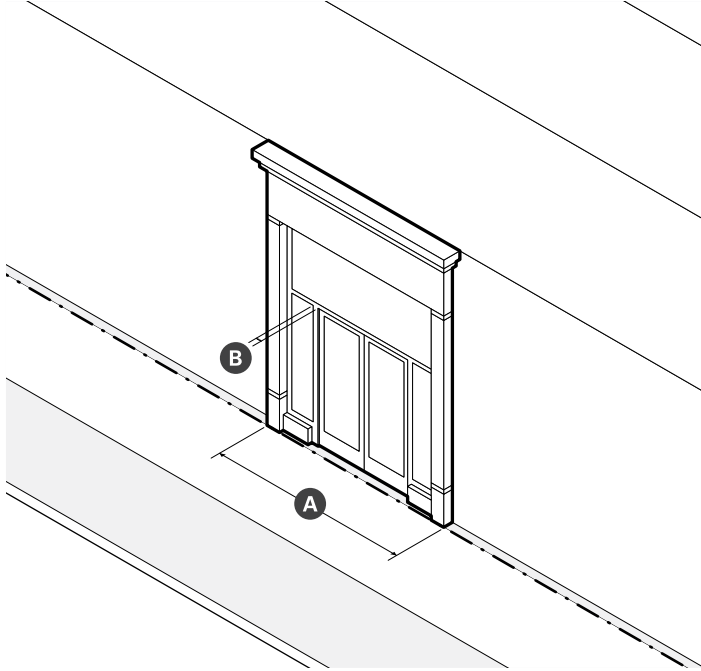
- ii. Standards
 - a). Stairs are not permitted to encroach onto any abutting sidewalk.
 - b). Porch railings must permit visual supervision of the public realm through the posts and rails.
 - c). A porch may be screened provided the percentage of window area to wall area is seventy percent (70%) or greater. Permanent enclosure of a porch to create year-round living space is not permitted.

3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

I. Lobby Entrance

- i. A lobby entrance frontage type featuring an at-grade principal entrance providing access to upper story uses of a building.

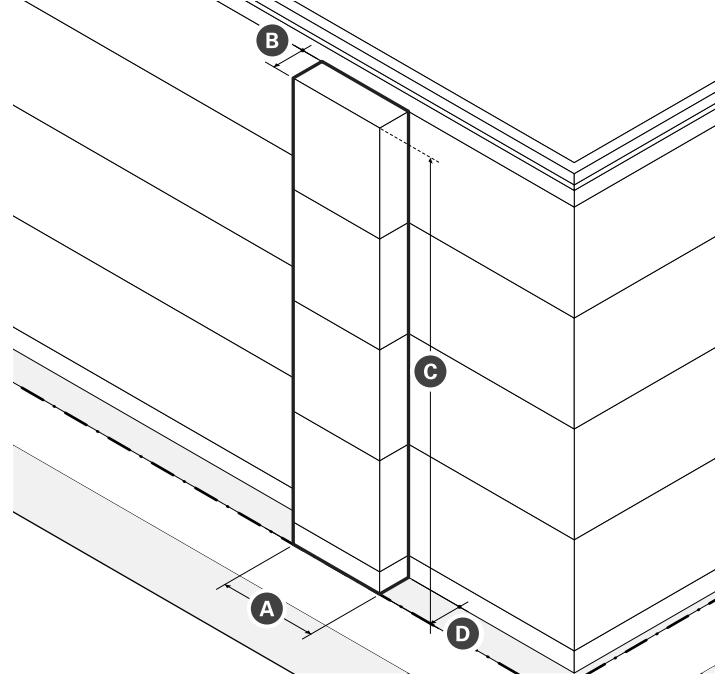


Dimensions	
A Width (max)	30 ft
B Recessed Entrance Width (max)	15 ft
Recessed Entrance Depth (max)	5 ft

- ii. Standards
 - a). Lobby entrances must be well-defined, clearly visible, and universally accessible from the abutting sidewalk.
 - b). Lobby entrances should be made clearly identifiable using a difference in design from the rest of the facade.
 - c). Lobby entrances must include an awning or entry canopy above the principal entrance to provide weather protection.
 - d). When a lobby entrance is setback from the front lot line, the frontage must be paved to match the abutting sidewalk.

J. Bay Window

- i. A bay window is an assembly of multiple windows that projects from a building to provide additional habitable space, increased light, multi-directional views, and articulation to an exterior wall.

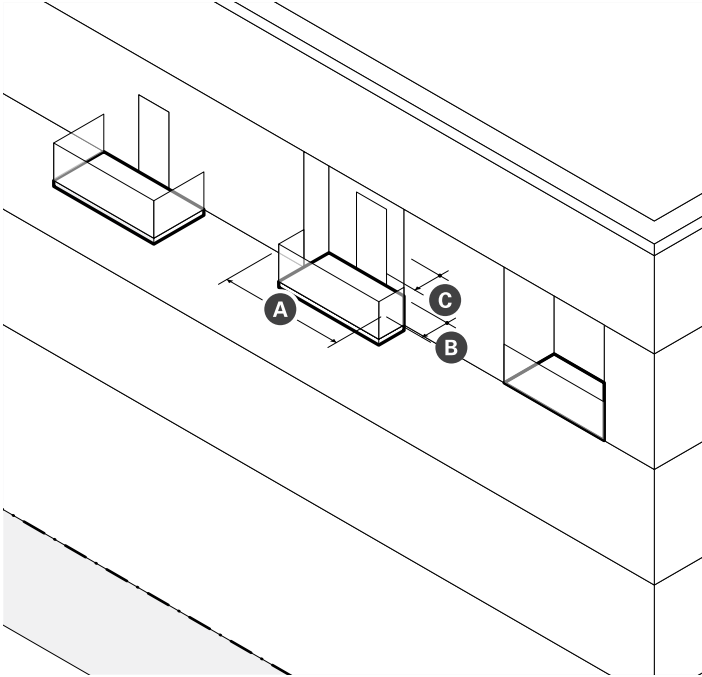


Dimensions	
A Width (max)	16 ft
B Projection (max)	3 ft
C Height (max)	Height of Building in Stories
D Setback Encroachment (max)	--
Front	3 ft
Side	0 ft
Rear	0 ft
Fenestration (min)	60%

- ii. Standards
 - a). The cumulative width of multiple bays may equal up to fifty percent (50%) of the exterior wall from which the bays project.
 - b). Bays projecting over the sidewalk of a public thoroughfare must have at least two (2) stories of clearance and be compliant with all City Ordinances.

K. Balcony

- i. A balcony is a platform with a railing that provides outdoor amenity space.

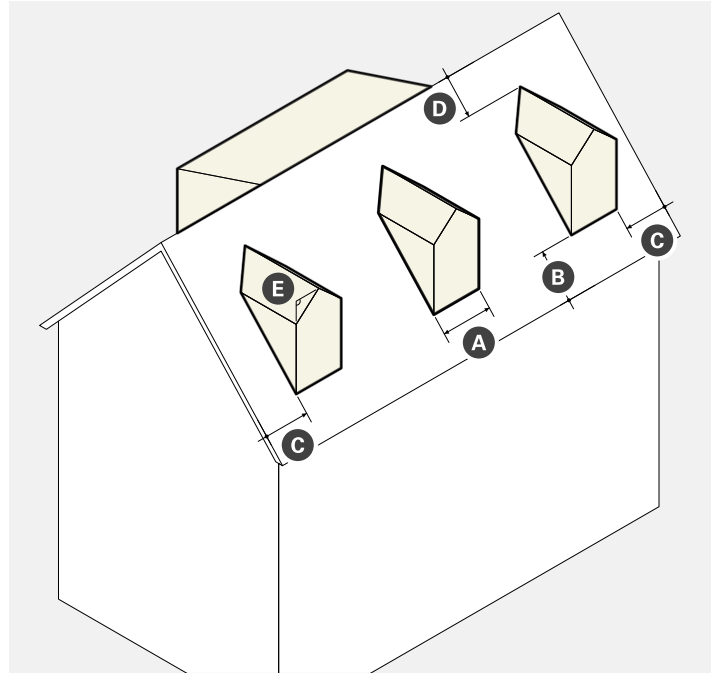


Dimensions	
A Width (min)	5 ft
B Depth (min)	5 ft
Area (min)	50 sf
Clearance (min)	10 ft
C Setback Encroachment (max)	--
Front	100%
Side	0 ft
Rear	0 ft

- ii. Standards
 - a). Balconies may be recessed, projecting, a combination of the two, or terraced as part of the roof of a portico, porch, or bay.
 - b). Balconies that project over any public sidewalk requires compliance with all City Ordinances.
 - c). Front balconies must permit visual supervision of the public realm through the posts and rails. Side and rear balconies abutting the NR district must include sight obscuring visual screening so that it is at least fifty percent (50%) opaque.

L. Dormer

- i. A dormer is a window space with a gable, hip, or arched roof that projects perpendicularly from a pitched roof below. Dormer windows provide light to the habitable space of a half-story.



Dimensions	
A Width (max)	window(s) width + 18 in
Side Wall Setback (min)	--
Roof with eave	0 ft
Roof without eave	1 ft
B Front & Rear Wall Setback (min)	3 ft
C Ridge Setback (min)	1 ft
D Roof Slope (min)	4:12 (18.43°)
E Dormer Separation (min)	50% of dormer width

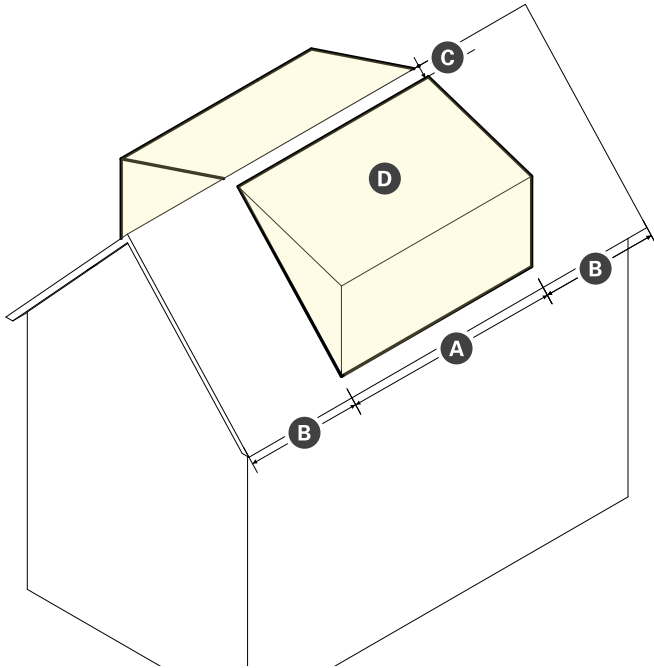
- ii. Standards
 - a). The face wall of a dormer window may not project beyond the exterior wall of the building and may not interrupt the eave of the roof.
 - b). Dormer windows may be combined with a shed dormer(s) to create a Nantucket dormer.
 - c). The cumulative width of a single, multiple, or attached combinations of dormers may equal up to fifty percent (50%) of the eave length of the roof below.

3. RESIDENTIAL DISTRICTS

Urban Residence (UR)

M. Shed Dormer

- i. A shed dormer is window space with a shed roof that projects perpendicularly from a pitched roof below. Shed dormers provide light and additional habitable space to a half-story.

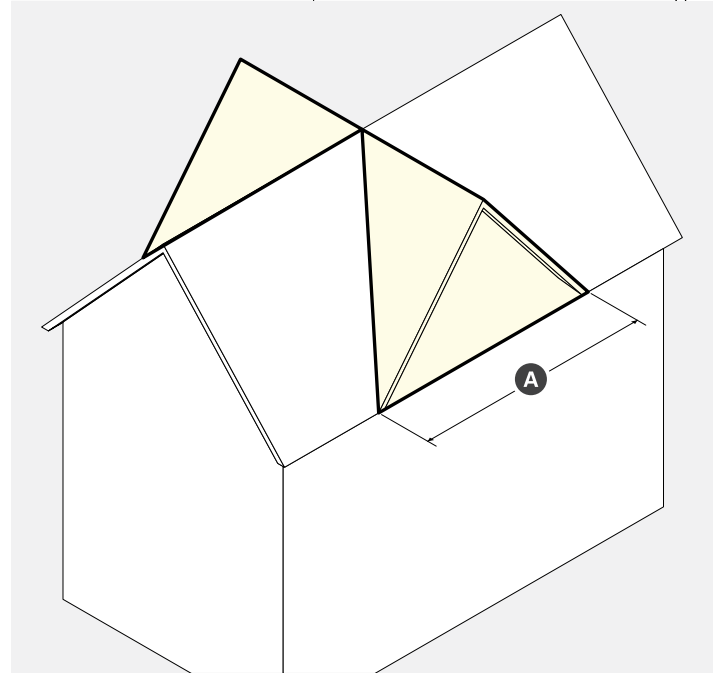


Dimensions	
A Width (max)	window(s) width + 36 in
Side Wall Setback (min)	--
Roof with eave	0 ft
Roof without eave	1 ft
B Front & Rear Wall Setback (min)	3 ft
C Ridge Setback (min)	1 ft
D Roof Slope (min)	4:12 (18.43°)
E Dormer Separation (min)	50% of dormer width

- ii. Standards
 - a). The face wall of a shed dormer may not project beyond the exterior wall of the building and may not interrupt the eave of the roof.
 - b). Cheek wall windows are permitted.
 - c). Shed dormers may be combined with a dormer window(s) to create a Nantucket dormer.
 - d). The cumulative width of a single, multiple, or attached combinations of dormers may equal up to fifty percent (50%) of the eave length of the roof below.

N. Cross Gable

- i. A cross gable is a sloped roof that projects perpendicularly from the main roof of a building to significantly increase the habitable space of a half-story.



Dimensions	
A Width (max)	50% of the eave length of the main roof

- ii. Standards
 - a). The rakes of the cross gable roof must be structurally integrated into the eave and ridge line of the main roof.

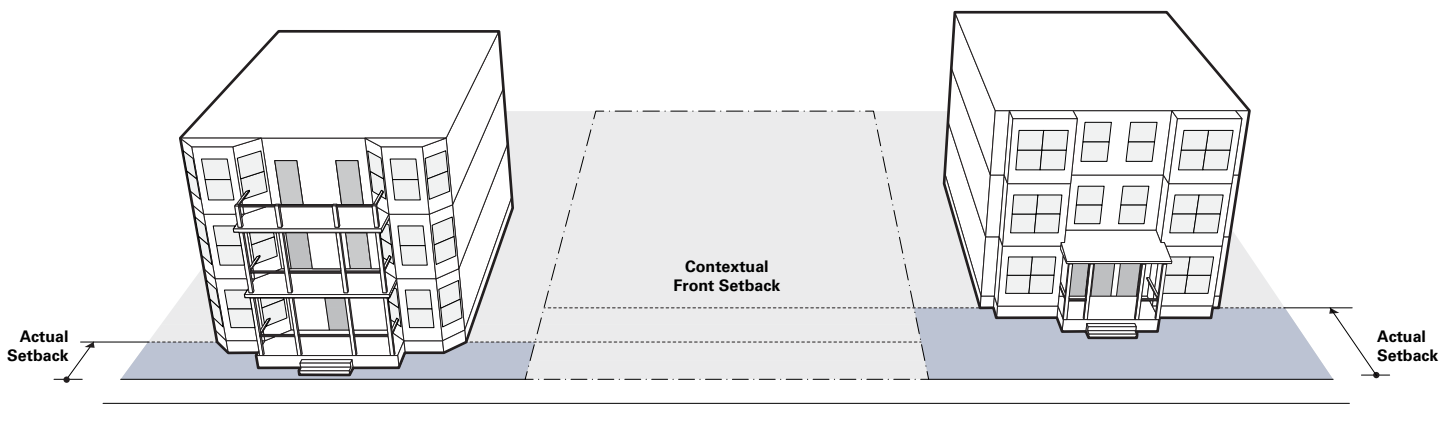
13. Building Design Standards

- a. Contextual Front Setbacks
 - i. Notwithstanding the front setbacks identified for each building type, new construction must have a contextual front setback as follows:
 - a). If the subject lot is an interior lot or key lot, the minimum and maximum front setbacks are equal to the actual distances that principal structures are setback from the front lot line on the two abutting lots of the same block face. See Figure 3.2 (a).
 - b). If the subject lot is a corner lot, the minimum front setback is equal to the actual distance that the principal structure is setback from the front lot line on the abutting lot that is oriented toward the same thoroughfare.
 - c). If the lot on either side of the subject lot is vacant, the minimum and maximum front setback identified for each building type governs.
 - ii. The contextual front setback provision does not exempt any building from complying with the maximum front setback required for each building type.

14. Architectural Design Guidelines

- a. Residential Privacy
 - i. Ground story dwelling units should be elevated above the grade of any adjacent sidewalk so that the window sills of the dwelling unit are at or above the eye-level of passing pedestrians. This elevation change maintains privacy for occupants while also encouraging open blinds or curtains to allow natural daylight into the unit.
 - ii. Dormer and sidewall window locations should break the direct line of sight between neighboring properties to every extent practicable. Translucent glass on the bottom half of windows or strategically placed landscape elements should be utilized if it is not practical to off-set windows in ways that minimize privacy impacts.
 - iii. Outdoor amenity spaces that are elevated such as roof decks, fully projecting balconies, and upper story rear porches should provide sight obscuring visual screening at the sides to increase privacy, security, and limit views of abutting properties from elevated vantage points.

FIGURE 3.2 (a) Contextual Front Setback



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15. Use Provisions

- a. General
 - i. The use of real property is subject to the provisions of Article 9: Use Provisions of this Ordinance. Where the provisions of this section conflict with those of Article 9, the provisions of Article 9 apply.
 - ii. Uses are permitted as specified on Table 3.2 (b).
 - iii. Use categories not expressly authorized are prohibited.
 - iv. All uses must comply with any use-specific standards applicable for each use in §9.2 Use Definitions & Limitations.
 - v. Uses permitted by Special Permit require additional development review in accordance with §15.2.1 Special Permits.
- b. Adaptive Re-Use of Specific Buildings
 - i. The use of any principal structure constructed before the effective date of this Ordinance for a use that is considered nonconforming in the Urban Residential district, as established by permit records or other historical documents accepted

by the Building Official, or any building used for municipal operations by the City of Somerville may be changed to any use within the following principal use categories in accordance with Table 3.2 (c):

- a). Artisan Production;
- b). Arts Sales & Services;
- c). Design Services;
- d). Shared Workspace & Arts Education;
- e). Consumer Goods; or
- f). Fresh Food Market or Grocery.

Use Category Specific Use	UR	Use Specific Standards
Arts & Creative Enterprise		
Artisan Production	SP	§3.1.14.b and §9.2.2.a
Arts Sales & Service	SP	§3.1.14.b and §9.2.2.c
Design Services	SP	§3.1.14.b and §9.2.2.d
Shared Workspace & Arts Education	SP	§3.1.14.b and §9.2.2.e
Auto-Oriented		
Motor Vehicle Parking (as noted below)	--	§9.2.3.d
Off-Site Accessory Parking	SP	§9.2.3.d.i
Civic & Institutional		
Minor Utility Facility	SP	§9.2.4.d
Religious & Educational Uses Protected by M.G.L. 40A. Sec. 3	P	§9.2.4.i
Commercial Services		
Day Care Service (as noted below)	--	§9.2.5.h
Child Day Care Center	P	§9.2.5.h.ii
Vehicle Parking (except as follows)	N	§9.2.5.m
Bike Share Parking	P	§9.2.5.m.i
Car Share Parking (3 or less spaces)	P	§9.2.5.m.ii
Car Share Parking (4 or more spaces)	SP	§9.2.5.m.ii

P - Permitted SP - Special Permit Required N - Not Permitted

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TABLE 3.2 (b) UR Permitted Uses (continued)

Use Category Specific Use	NR	Use Specific Standards
Lodging		
Bed & Breakfast	SP	§9.2.8.a
Residential		
Household Living	P	§9.2.10.a
Group Living (except as follows)	SP	§9.2.10.b
Community or Group Residence	P	§9.2.10.b.i
Dormitory, Fraternity, or Sorority	SP	§9.2.10.b.ii
Homeless Shelter	N	§9.2.10.b.iii
Nursing Home/Assisted Living Facility	SP	§9.2.10.b.iv
Rooming House	SP	§9.2.10.b.v
Retail Sales		
Consumer Goods (except as follows)	P	§3.1.14.b and §9.2.11.b
Alcohol Sales	N	§9.2.11.b.i
Drug Paraphernalia Store	N	§9.2.11.b.ii
Firearms Sales	N	§9.2.11.b.iii
Medical Marijuana	N	§9.2.11.b.iv
Pet Store	N	§9.2.11.b.v
Fresh Food Market or Grocery Store	P	§3.1.14.b and §9.2.11.d
Urban Agriculture		
Farming (as noted below)	--	§9.2.12.a
Commercial Farm	N	§9.2.12.a.i
Community Farm	P	§9.2.12.a.ii
Community Gardening	P	§9.2.12.b
Accessory Uses		
Home Occupations (as noted below)	--	§9.2.13.c
Creative Studio	P	§9.2.13.c.ii
Home-Based Business	P	§9.2.13.c.iv
Home Office	P	§9.2.13.c.vi
Urban Agriculture (as noted below)	--	§9.2.13.d
Apiculture	P	§9.2.13.d.i
Aviculture	P	§9.2.13.d.ii
Commercial Farming	P	§9.2.13.d.iii
Residential Gardening	P	§9.2.13.d.iv
Vehicle Parking, Accessory (except as follows)	P	§9.2.13.e
Home Business Vehicle Parking	SP	§9.2.13.e.i

P - Permitted SP - Special Permit Required N - Not Permitted

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16. Development Standards

- a. General
 - i. Development is subject the provisions of Article 10: Development Standards of this Ordinance. Where the provisions of this section conflict with those of Article 10, the provisions of Article 10 apply.
- b. Signs
 - i. A sign, individual numerals or letters, or a nonelectrical nameplate identifying the property address is required for all real property as follows:
 - a). Each ground story non-residential use must identify the street address either on the principal entrance door or above or beside the principal entrance of the use.
 - b). All residential building types must identify the street address either on the principal entrance door, above or beside the principal entrance, or on a mailbox.
 - ii. Address signs must be made easily visible through the use of colors or materials that contrast with the background material they are attached to and must be conspicuously located to provide visibility from the thoroughfare that the building faces.
 - iii. Address signs must be twelve (12) inches in height or less and may include the name of the occupant.

17. Parking & Mobility

- a. General
 - i. Development is subject the provisions of Article 11 Parking & Mobility of this Ordinance. Where the provisions of this section conflict with those of Article 11, the provisions of Article 11 apply.
 - ii. Vehicular parking must be provided as specified on Table 3.2 (c), except as follows:
 - a). Non-residential uses with five thousand (5,000) square feet or less of gross leasable floor area are exempt from any minimum requirements of Table 3.2 (c).
 - iii. There are no parking requirements for accessory uses.
 - iv. Parking may be shared between uses on the same lot and buildings on the same block in accordance with §11.3 Shared Parking.
 - v. One (1) on street parking space for every twenty (20) feet of lot width may be counted toward any minimum parking requirement if residential permit parking is permitted along the same side of the street as the lot that the spaces will serve.
- b. Type
 - i. Motor vehicle parking may be provided as surface parking spaces, above ground structured parking, underground structured parking, and on street parking spaces.

TABLE 3.2 (c) UR Parking

Use Category Specific Use	BICYCLE		MOTOR VEHICLE	
	Short-Term (min)	Long-Term (min)	Within a Transit Area ¹ (max)	Outside of a Transit Area ¹ (min)
Arts & Creative Enterprise Uses				
All Permitted Uses	1.0 / 10,000 sf	1.0 / 3,000 sf	n/a	1.0 / 1,000 sf
Civic & Institutional				
Religious & Educational Uses Protected by M.G.L. 40A. Sec. 3	--	--	--	--
Lodging Uses				
Bed & Breakfast	1.0 / 20 rooms	1.0 / 10 rooms	n/a	1 / 4 rooms
Residential Uses				
All Permitted Uses	n/a	n/a	n/a	1 / DU or 0.5 / RU
Retail Sales Uses				
All Permitted Uses	1.0 / 2,500 sf	1.0 / 10,000 sf	n/a	1 / 1,500 sf

sf - Gross Leasable Square Footage

DU - Dwelling Unit

RU - Rooming Unit

¹ See the Transit Area Map

- c. Driveways
 - i. New driveways require a permit from the City Engineer.
 - ii. Driveways must be compliant with all City Ordinances and constructed in accordance with all standards established by relevant City departments.
 - iii. Driveways are not permitted in the frontage area between a building and the front lot line.
 - iv. Driveways may be no wider than twelve (12) feet in the frontage area of a lot.
 - v. Driveways may provide access in whole or in part on or across an abutting lot(s), provided that an access easement exists between all property owners.
 - vi. New driveways should accommodate at least two (2) motor vehicles for every one (1) on-street parking space that will be removed as a result of the new driveway.
 - vii. Ribbon driveways and permeable driveways are highly encouraged. See Figure 3.2 (b) for examples.
- d. Parking Design
 - i. The design of all parking is subject to §11.1 Bicycle Parking and §11.2 Motor Vehicle Parking of this Ordinance.
- e. Parking Location
 - i. Required vehicular parking, excluding any required handicapped parking, may be provided on a contiguous lot under the same ownership as the lot that the parking will serve as follows:
 - a). Pedestrian access to off-site vehicular parking must be via a paved sidewalk or walkway.
- f. Unbundled Parking
 - i. Motor vehicle parking spaces must be rented or leased as an option rather than a requirement of the rental, lease, or purchase of a dwelling unit or non-residential floor space.
 - ii. Bicycle parking must be provided at no cost or fee to customers, visitors, employees, tenants, and residents.
- g. Parking Relief
 - i. Relief from the parking standards of Table 3.2 (c) requires a Special Permit.
 - a). In its discretion to approve or deny a special permit authorizing relief from the parking standards of Table 3.2 (c), the review board shall consider, at least, the following:
 - i). The supply and demand of on-street parking in the neighborhood, as determined through a parking study.
 - ii). Mobility management programs and services provided by the applicant to reduce the demand for parking.
 - iii). That parking provided in excess of any

FIGURE 3.2 (b) Example Driveways



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maximum permitted does not result in the increase in impervious lot area.

18. Public Realm

a. Sidewalk Curb Cuts

- i. A curb cut requires a permit from the City Engineer and must be compliant with all City Ordinances.
- ii. Unless otherwise specified, the City Engineer may not permit more than one (1) curb cut per front lot line of a lot.
- iii. Curb cuts are prohibited for all thoroughfares designated as a pedestrian street
- iv. Curb cuts must be located to minimize conflicts with pedestrians and bicyclists and must have a clear distance from fire hydrants, street trees, utility poles, and other furnishings as deemed necessary by the City Engineer.
 - a). Curb cuts for commercial or high-volume driveways should be at least one-hundred (100) feet from an unsignalized or signalized intersection.
 - b). Curb cuts for residential driveways should be at least twenty (20) feet from an unsignalized intersection and at least forty (40) feet from a signalized intersection.
- v. The interior width of a curb cut (between curb stones) may be no wider than the driveway, vehicular entrance, or loading facility it serves.
- vi. A driveway apron may be installed only within the furnishing zone of a sidewalk and must be constructed in accordance with all standards established by relevant City departments.
- vii. The grade, cross slope, and clear width of the walkway of a sidewalk must be maintained between the driveway apron and the abutting driveway. The appearance of the walkway (ie. scoring pattern or paving material) must indicate that, although a vehicle may cross, the area traversed by a vehicle remains part of the sidewalk.

FIGURE 3.2 (c) Sidewalk Curb Cuts

